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zoningdiscovery

Technical Appendix

montgomery county planning department
The Maryland-National Capital Park and Planning Commission

MontgomeryPlanning.org |

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Overview

This appendix to the Zoning Discovery is intended to share compiled information found in the Zoning Code that has been evaluated for this report. Basic parts of the Code, such as numbers and types of zones and the corresponding development standards are important to analyze as we discover what is and what is not working.

Information is provided in:

- Lists – zones, special exceptions
- Tables – standards, uses, and parking standards
- GIS maps – one-page fact sheets and comprehensive mapping of all zones
- Articles – Cottage Housing and Sustainability.

Current development standards have been illustrated in one-page fact sheets with GIS imaging reflecting how development actually looks under the standards of a particular zone. A sampling of zones has been included to document standards, including setbacks, lot size, height, and coverage.

How is land zoned in the County? GIS maps for each zoning district show the location and amount of land zoned in a category. The greatest amount of land is zoned Rural Density Transfer (RDT) and several zones, including Rural Service, C5, C6, and Planned Cultural Center, each have only one zoned parcel. Other zones such as MRR, R4-plex, and Low Density Rural Cluster (LDRC) are not zoned at all.

The Zoning Code contains use tables with over 425 residential, commercial, industrial, and institutional uses that are allowed or not

allowed by zone, either as permitted or by special exception. The Code names very specific types of land activities rather than relying on broader categories. This has resulted in overlaps, confusion, and no way to include emerging uses. The review of this long list is a critical part of the Code analysis, as we will rationalize, refine, modernize, and combine the list of uses.

There is much that zoning can do to encourage greener environments. From a residential standpoint, compact subdivisions with smaller lots, a range of limited house sizes, less paving, and sustainable landscaping have been very successful in Washington state and other parts of the country.

We are moving to a commercial/residential mixed use and away from single purpose commercial zones. We need to create connections to work, services, and places where we live and play. The County's transition from greenfield development to urban infill provides the perfect opportunity to update our standards and include incentives to provide small wind turbines, solar access, green roofs, and other ways to achieve our needs for a more ecologically balanced environment. We need to look at reducing parking standards, especially in proximity to transit stations.

Simplification and ease of use will be a driving force as we progress in the zoning rewrite project. It is certain that many issues will arise and recommendations will be examined and tested as we seek to create a new document that addresses development and redevelopment today and into the future.

Current Zones

Compiling a list of all zones is important as we take stock of the current Code. Analysis indicates that there are zones with slight differences resulting in redundancy. Some zones are not mapped anywhere in the

county, and others have been identified as outdated and no longer useful. Finally, within land use classifications such as commercial and industrial zones, there seems to be an illogical hierarchy.

59-C-1 Residential Zones

| | |
|-----------|--|
| RE-2 | one-family/2 acres per dwelling |
| RE-2/TDR | |
| RE-2C | one-family/2 acres per dwelling/50 acre minimum/ 25,000 sf min lot |
| RE-2C/TDR | |
| RE-1 | one-family/40,000 sf |
| RE-1/TDR | |
| R-200 | one-family/20,000 sf |
| R-200/TDR | |
| R-150 | one-family/10,000 sf |
| R-150/TDR | |
| R-90 | one-family/9,000 sf |
| R-90/TDR | |
| R-60 | one-family/6,000 sf |
| R-60/TDR | |
| R-40 | one-family/4,000 sf |
| R-H | multifamily/high rise planned residential/min net lot area 1,000 sf per dwelling |

59-C-2 Residential Zones Multifamily

| | |
|----------|--|
| RT-6 | townhouse/6 units per acre |
| RT-8 | townhouse/8 units per acre |
| RT-10 | townhouse/10 units per acre |
| RT-12.5 | townhouse/12.5 units per acre |
| RT-15 | townhouse/15 units per acre |
| R-4plex | residential, fourplex |
| R-30 | multi-family/min net lot area 3,000 sf per dwelling |
| R-20 | multi-family/min net lot area 2,000 sf per dwelling |
| R-10 | multi-family/min net lot area 1,000 sf per dwelling |
| R-H | multi-family/highrise planned/min net lot area 1,000 sf per dwelling |
| R-30/TDR | |
| R-20/TDR | |
| R-10/TDR | |

59-C-3 R-Mobile Homes

| | |
|----------|---|
| R-MH | large planned mobile home parks (7 units per acre/minimum 15 acres) |
| R-MH-200 | one-family/double wide mobile homes on half-acre lots |

59-C-4 Commercial Zones

| | |
|-----|-------------------------------------|
| C-T | commercial, transitional |
| O-M | office building, moderate intensity |
| C-O | commercial, office building |
| C-P | commercial, office park |
| C-1 | convenience commercial |
| C-2 | general commercial |
| C-3 | highway commercial |

| | |
|-------|----------------------------------|
| C-4 | limited commercial |
| C-5 | low density, office commercial |
| C-6 | low density, regional commercial |
| H-M | hotel-motel |
| C-Inn | country inn |

59-C-5 Industrial Zones

| | |
|-----|---------------------------------|
| I-1 | light industrial |
| I-2 | heavy industrial |
| I-3 | technology and business park |
| I-4 | low-intensity, light industrial |
| R&D | research and development |
| LSC | life sciences center |

59-C-6 Central Business District Zones

| |
|---------|
| CBD-0.5 |
| CBD-R1 |
| CBD-R2 |
| CBD-1 |
| CBD-2 |
| CBD-3 |

59-C-7 Planned Unit Development Zones

| |
|------|
| PD-2 |
| PD-3 |
| PD-4 |
| PD-5 |
| PD-7 |

| | |
|--------|--------------------------------|
| PD-9 | |
| PD-11 | |
| PD-13 | |
| PD-15 | |
| PD-18 | |
| PD-22 | |
| PD-25 | |
| PD-28 | |
| PD-35 | |
| PD-44 | |
| PD-60 | |
| PD-68 | |
| PD-75 | |
| PD-88 | |
| PD-100 | |
| TS | town sector |
| PN | planned neighborhood |
| P-R-C | planned retirement community |
| MXN | mixed-use neighborhood |
| MXPD | mixed-use planned neighborhood |
| PCC | planned cultural center |

59-C-8 Transit Station Development Zones

| | |
|------|------------------------------|
| TS-M | transit station, mixed |
| TS-R | transit station, residential |

59-C-9 Agricultural Zones

| | |
|----|---------------|
| R | rural |
| RC | rural cluster |

| | |
|---------|--|
| RDT | rural density transfer |
| RNC | rural neighborhood cluster |
| RNC/TDR | |
| R-S | rural service |
| LDRC | low density rural cluster development zone |

59-C-10 Residential Mixed Use Zones

| | |
|------------|-----------------------------------|
| RMX-1 | community center |
| RMX-2 | specialty center |
| RMX-2 | specialty center, commercial base |
| RMX-3 | regional center |
| RMX-3C | regional center, commercial base |
| RMX-1/TDR | |
| RMX-2/TDR | |
| RMX-2C/TDR | |
| RMX-3/TDR | |

59-C-11 Mixed Use Town Center Zones

| | |
|----------|-----------------------|
| MXTC | mixed-use town center |
| MXTC/TDR | |

59-C-12 Mineral Resource Recovery Zone

| | |
|-----|--|
| MRR | |
|-----|--|

59-C-13 Transit Oriented, Mixed Use Zones

| | |
|--------------|----------------------------|
| TOMX-2.0 | transit oriented mixed use |
| TOMX-2.0/TDR | |
| TMX | transit mixed use |

Cottage Housing

Redmond Washington's Cottage House Development (CHD) Code was established in 1995 and was the first of its kind to be implemented in this Pacific Northwest community of 50,000 residents just outside Seattle.

It recognizes that a small one or two bedroom home of less than 1,000 square feet of living area has community value but should not be reviewed the same as the typical 2,000 to 3,000 square foot home. Cottage housing is a conditional use in the community's single-family residential zones and allows four to 12 small, detached cottages on a site that would normally be developed with half that number of large homes.

The first CHD project, Third Street Cottages, completed January 1998 by the Cottage Company demonstrated that eight small cottages would fit successfully into an existing single family neighborhood. As a result of this and other pioneering projects, jurisdictions around the country are actively considering some form of CHD code regulation.

Purpose

- To provide a housing type that responds to changing household sizes and ages.
- To provide opportunities for ownership of small, detached dwelling units within a single-family neighborhoods.
- To encourage the creation of more usable open space for residents of the development through flexibility in density and lot standards.
- To support the growth management goal of more efficient use of urban residential land.
- To provide guidelines to ensure compatibility with surrounding land uses.

Applicability

CHD is allowed in all low-moderate density residential districts through neighborhood plans.

Development Size

A minimum of four and a maximum of 12 cottages are located in a cluster to encourage a sense of community among the residents.

Definitions

- A cottage is a small, detached dwelling unit, not greater than 1,000 square feet in total floor area that is developed at a density greater than the underlying zone. More than one cottage may occupy a single lot.
- A cottage housing development is a cluster of four to 12 detached single-family houses around a central open space. It has the following characteristics.
 - Each unit is of a size and function suitable for a single person or very small family.
 - Each unit has the construction characteristics of a single-family house.
 - Units may be located on platted lots or as units in a condominium and may share use of common facilities such as a party room, tool shed, garden, orchard, workshop, or parking areas.
 - The site is designed with a coherent concept in mind, including shared functional open space, off-street parking,

access within the site and from the site, and consistent landscaping.

- Size-limited dwelling is a single-family detached unit that does not exceed 1,900 square feet. The determination of total square footage includes attached garages. A size limited dwelling will be so identified and legally binding on the title of the home; the house may not be enlarged above the maximum size limit.

Special Site Requirements

A site requirements chart establishes the basic dimensional requirements for cottages and development standards are intended to define the cottage design parameters to achieve compatibility with adjacent single-family residential uses. The zone addresses standards including density, lot frontage, coverage and setbacks, impervious surface, and open space. Some of the specific standards follow.

Cottage Floor Area

To ensure that the overall size, including bulk and mass of cottage structures and Cottage Housing Developments, remain smaller and incur less visual impact than standard sized single-family dwellings, particularly given the allowed intensity of cottage dwellings.

- To provide variety in Cottage Housing Developments through a mixture of building sizes and building footprints:
 - The total floor area of each cottage shall not exceed either 1.5 times the area of the main floor or 1,000 square feet, whichever is less. Attached garages shall be included in the calculation of total floor area.
 - The total floor area of each cottage shall not exceed either 1.5 times the area of the main floor or 1,000 square feet,

whichever is less. Attached garages shall be included in the calculation of total floor area.

- Cottage areas that don't count toward the total floor area calculation are:
 - Unheated storage space located under the main floor of the cottage
 - Architectural projections, such as bay windows, fireplaces or utility closets not greater than 18 inches in depth or six feet in width
 - Attached roofed porches
 - Detached garages or carports
 - Spaces with a ceiling height of six feet or less measured to the exterior walls, such as in a second floor area under the slope of the roof.

The Code Administrator may approve other exemptions similar in nature provided the intent of this section is met.

- The maximum main floor area for cottages is 800 square feet. The area of interior stairways may be allocated between floors served.
- A minimum of 40 percent of the cottages and not more than 50 percent shall have main floors of 700 square feet or less. For example: in a five cottage development, two of the cottages would need to have main floors of 700 square feet or less and the other three cottages could have main floors of up to 800 square feet. For fractional numbers, 0.5 and above, round up; below 0.5 round down.
- The total square foot area of a cottage dwelling unit may not be increased. A note shall be placed on the title to the property for the purpose of notifying future property owners that any increase

in the total square footage of a cottage is prohibited for the life of the cottage or duration of City cottage regulations.

- Cottages shall have a roofed porch at least 80 square feet in size with a minimum dimension of eight feet on any side.

Required Minimum Open Space

To provide a sense of openness and visual relief common open space shall provide a centrally located, focal area for the development. The common area shall be outside of wet stormwater ponds, wetlands, streams, lakes, and sensitive area buffers, on slopes of 10 percent or less, and developed and maintained to be usable for active or passive recreation activities. Private Open Space shall provide private area around the individual dwellings to enable diversity in landscape design. Common open space shall:

- be a minimum of 400 square feet per cottage
- abut at least 50 percent of the cottages in a Cottage Housing Development
- have cottages abutting on at least two sides
- be the main entry to all cottages and be within 60 feet walking distance
- be a minimum of 300 square feet of private, contiguous, usable open space adjacent to each dwelling unit, for the exclusive use of the cottage resident. It shall be oriented toward the common open space as much as possible, with no dimension less than 10 feet.

Parking Location and Screening

The design of parking shall ensure minimal visual impact from vehicle use and storage areas for residents as well as adjacent properties, and will maintain a single-family character along public streets. Parking shall be:

- located on the Cottage Housing Development property

- screened from public streets and adjacent residential uses by landscaping or architectural screening.
- located in clusters of not more than five adjoining spaces
- prohibited in the front yard setback area
- prohibited within 40 feet of a public street, except: single loaded parking is allowed in a maximum 50 foot wide area when setback a minimum of 15 feet from a public street
- allowed between or adjacent to structures only when it is located toward the rear of the principal structure and is served by an alley or private driveway
- required to use a pitched roof design for all parking structures. If a parking structure is attached to a cottage unit, review by the Design Review Board shall be required.

Accessory Dwelling Units

The number of accessory dwelling units (ADUs), either attached or detached, permitted in a Cottage Housing Development is based on the underlying density calculation for standard sized dwellings that would be attributed to that site. For example, if the density calculation for a site indicates that three standard size homes would be allowed, then three ADUs plus the number of cottages allowed would be the total number of dwelling units permitted on the site.

- The size of an accessory dwelling unit shall be subordinate to that of the primary, or cottage dwelling. For any ADU, the total square footage of the ADU shall not exceed the lesser of 500 square feet or 40 percent of the total square footage of the primary dwelling unit and the accessory dwelling unit combined. ADUs attached to a cottage shall count in the 1,000 square feet maximum floor area. ADUs in a detached structure do not count in the 1,000 square foot maximum floor area.
- ADUs are allowed only when proposed at the time of initial cottage development application.

- Review by the Design Review Board may be required.

Community Buildings

A Cottage Housing Development may contain community buildings that are clearly incidental in use or size and related to the dwelling units. The community buildings are located on the same site as the Cottage Housing Development and are commonly owned by the residents.

Existing Dwellings

An existing detached or attached single-family dwelling that is incorporated into a Cottage Housing Development as a residence and is nonconforming with respect to the standards of this section shall be permitted to remain on a site used for a Cottage Housing Development. However, the extent of the non-compliance may not be increased unless the proposed change is determined by the Code Administrator to be consistent in character, scale, and design with the Cottage Housing Development.

If the existing dwelling meets the size requirements and can conform to other site standards, it may be counted as a cottage in the density calculation for the site. If the existing dwelling doesn't meet the size limitation for a cottage, then it shall count as one standard size dwelling.

Neighborhood Meeting

The neighborhood meetings provides adjacent and nearby residents with opportunities to obtain information about the proposal and provide comment on the overall project design and concept before an applicant spends significant time and resources developing the specific and development features of the proposal.

- The project applicant for a Cottage Housing Development is required to hold a minimum of one neighborhood meeting. The meeting shall be held early in the permit review process.
- Notification of the meeting shall be mailed to property owners within 500 feet of the proposal and a sign will be posted on site.
- The City shall participate in neighborhood meetings.

Supplemental Requirements

The Code is written to allow this zone to be tailored to neighborhood character. A technical review committee can evaluate proposals to allow variations in total size, unit size, and other characteristics.

Sustainability through Zoning

Participants through our feedback sessions have called for zoning that will address the interrelated issues of climate change, renewable energy, and sustainability. As these issues are so dependent on land use and development decisions, the County's transition from greenfield development to urban infill provides the perfect opportunity to update our standards. Across the country, zoning ordinances are already reacting to these needs for a more ecologically balanced environment by removing barriers, offering incentives, and even requiring sustainable development. The County can once again be at the forefront of an important planning issue that will benefit everybody.

Zoning Barriers to Sustainable Zoning

According to the definitions in the code, the main difference between "public use space" and "green area" is that one must specifically be available to the public while the other is not required to serve the public. Otherwise, the terms allow almost identical uses such as sidewalks and swimming pools. Instead of "green area" serving as proxy for "private use space," it should have a definition that focuses on positive environmental qualities like permeable surfaces and native vegetation.

The Code is also out-of-date in addressing renewable energy sources. If a property owner wanted to go "off the grid" by using wind turbines or solar panels, there is nothing in the ordinance to provide regulations, process, or incentives to do so.

The density levels for environmentally sensitive areas such as floodplains and wetlands are too high. The current code overburdens these lands, which could have serious consequences in the future. Additionally, there are no maximum lot sizes in RDT zones and there is no minimum FAR in Central Business Districts or TMX/TOMX zones. The current code lacks certain standards that help guide development toward urban infill and away from greenfield development.

Best Practices Survey

Wind Turbines

Wind Turbines can reduce dependence on non-renewable energy and enhance reliability of the power grid.

The American Wind Energy Association has developed model zoning ordinance guidelines that provide guidance for small wind energy systems subject to these requirements.

- Towers can be no more than 150 feet on one-acre lots, larger lots have not limits, but must meet FAA regulations.
- Setbacks must be at least 10 feet from all sides of the property boundaries.
- Sound pressure level must not cause a sound to exceed 60 dBA or be in excess of 5 dBA above background noise.
- Wind turbines must be approved by some level of energy commission (State, Federal, etc.).
- Applicant must submit engineering drawings of the structure that comply with building codes.
- Wind turbines must comply with FAA regulations and the National Electric Code.
- Utility companies must be notified.



Some jurisdictions allow wind turbines to exceed height allowances in rural areas.

Solar Access

Designing and siting buildings for solar access can reduce dependence on non-renewable energy and enhance reliability of the power grid.



Regulating solar access allows homes to capture their own solar energy.

The Boulder, CO Solar Access Ordinance guarantees solar access for residents, giving them the option to pursue solar energy alternatives. Its regulations:

- restrict shadows from overtaking more than between 12 and 25 feet of neighboring properties depending on the zoning district
- require a shadow analysis when applying for a building permit
- require a list of shadow lengths for proposed building heights on Dec. 21st at 10 am, noon, and 2 pm. This four- hour period during the shortest day of the year is used to determine solar access
- require new buildings to have ample east-west access and rooftops that can support solar paneling.

Green Roofs

Green roofs can contribute to reducing stormwater run-off, can cool urban heat islands, and can reduce a building's energy use.

Portland, Oregon offers an FAR bonus for buildings with eco-roofs, within the following guidelines.

- An eco-roof is a rooftop stormwater facility that has been certified by the Bureau of Environmental Services (BES).
- Depending on the percentage of building footprint taken up by the eco-roof, FAR can be increased from one to three extra square feet for each square foot of eco-roof.
- Applicant must submit a letter certifying that BES has certified the roof.
- Property owner must have a covenant with the city ensuring installation, preservation, maintenance, and replacement of the roof if necessary.



Benefits of green roofs include reducing stormwater runoff and reducing energy use.

Green Building

Green buildings consume less energy, contribute to improved air and water quality, and decrease pollution and landfill waste. They can lower utility and operating costs, enhance occupant health and comfort, and offer other economic, environmental, and health benefits.

Howard County, Maryland's expedited permitting process and tax credits for green buildings have the following features.

- All new county projects (LEED for New Construction and LEED for Core and Shell) are required to achieve LEED Silver and all private construction greater than 50,000 square feet must achieve LEED Certified.
- LEED Gold and Platinum projects enjoy expedited permitting.
- A five-year property tax credit for LEED for New Construction and LEED for Core and Shell; the credit increases depending on level of certification (25 percent for Silver, 50 percent for Gold, and 75 percent for Platinum). A similar spectrum exists for LEED for Existing Buildings, but for three years instead of five.

Other jurisdictions use green building incentives such as grants, density bonuses, free technical assistance, and fee reductions or waivers.

Conservation Subdivisions

Conservation subdivisions cluster homes on small lots and provide shared open spaces in order to preserve the natural features of the land to a greater extent than conventional suburban development. This method creates the same number of homes in a less consumptive manner while establishing an interconnected network of community green spaces

Prince George's County, Maryland has adopted a conservation zoning code with the following features.

- Conservation design rearranges the development on each parcel as it is planned so that half (or more) of buildable land is set aside as open space.
- In general, conservation zoning favors clustering over large-lot zoning. Without down zoning, the same number of homes can be built in a less land-consumptive manner, allowing the balance of the property to be permanently protected.
- Certain percentages of gross land area (ranging from 40-60 percent) in the O-S, R-A, R-E and R-R zones must be designated as a conservation lot.

Green Area Ratio

Green area ratio measures the amount of a building's green area in relation to its total lot area. This standard for all new buildings guarantees future development will contribute to a more environmentally-friendly city by allowing incremental increases in sustainability in a built, urban setting. It is a decentralized approach that is cost effective for the city and engages the public.



This green façade is an example of the incremental change encouraged by a green area ratio.

This technique is used in Berlin, Germany with the following standards.

- The city measures the percentage of a building's green area accessible to the public, including parks, gardens, and other open spaces. 70 percent must be permeable with respect to the total lot area.
- The city mandates that any new building or enhancements must attain a certain green area ratio—residential: 60 percent, mixed use: 40 percent, commercial/city center: 30 percent.
- To compensate for variations among technologies, the city has developed a weighting system whereby better performing technologies are more favorably weighted. Green facades and vegetated courtyards are some of the most common solutions.

Stakeholder Feedback

An online survey generated 75 responses to the question “What issues or uses do you feel the code could more adequately address?”

| | |
|-----|-------------------------------------|
| 27% | Sustainability |
| 20% | Renewable Energy |
| 15% | Small Business Incentives |
| 19% | Parking Standards |
| 22% | Landscaping |
| 32% | Design and Architectural Guidelines |
| 24% | Other |

Rewrite Direction

- The code should clarify the difference between “green area” and “public use space.” Specifically, “green area” should be limited to amenities that enhance the environmental quality and function of the space.
- Consider subtracting environmentally sensitive lands like flood plains and wetlands before calculating a property's density.
- To further protect environmentally sensitive lands, setbacks could be applied to the net developable areas and building restriction lines could be measured from lines defining environmentally sensitive areas.
- Consider a tree preservation ordinance to address the protection of individual specimen, heritage, memorial, and street trees.

Overlay Zones

An overlay zone is defined as “a geographic area that constitutes a mapped district superimposed over the underlying base zone on the official zoning map. An overlay zone includes development regulations and standards that either add to or modify the requirements of the underlying zone.” The following table identifies each of the 15 overlay zones by type, general purpose, acreage in the County, and identifies the applicable development process.

montgomery county overlay zones

| type | overlay | purpose | acreage | development process |
|---------------------|---|--|---------|--|
| Employment-Oriented | US 29/Cherry Hill Rd Employment Area | Develop a mix of office, regional commercial, and light industrial as well as local and regional retail uses while establishing uniform development standards and encouraging traffic-limiting measures | 711.70 | Site plan review, except where cumulative redevelopment does not exceed 20% of existing gross floor area |
| | Burtonsville Employment Area | Develop a mix of office, commercial, light industrial, and limited accessory retail uses while establishing uniform development standards and encouraging traffic-limiting measures | 42.17 | Site plan review |
| | Neighborhood Retail | Allow for neighborhood-serving retail commercial uses in multifamily zones as recommended in the applicable master plan | 27.40 | Site plan review for development in a multifamily zone that proposes commercial uses |
| | Arlington Rd District of Bethesda CBD | Preserve a variety of retail uses and encourage commercial development that retains the existing scale of development and mix of uses | 5.80 | Site plan review |
| | Chevy Chase Comparison Retail | Preserve and encourage a variety of retail uses and services in Friendship Heights CBD to meet the needs of workers, shoppers, and residents | 8.31 | Standard and Optional methods Site plan review |
| | Retail Preservation for Wheaton CBD | Retain a variety of small business, retail uses, and services and encourage compatible, higher-density, mixed-use development near the transit station | 50.50 | Standard and Optional methods Site plan review |
| | Chevy Chase Neighborhood Retail Preservation | Allow reasonable expansion and modernization of retail space while retaining the existing mix of neighborhood- and pedestrian-oriented retail and service uses | 4.02 | Site plan review |
| | Takoma Park/East Silver Spring Commercial Revitalization | Foster economic vitality and community character as well as combine residential and commercial uses in areas needing revitalization while promoting an enhanced circulation system for pedestrians, bicycles, and motor vehicles | 94.52 | Site plan review |

montgomery county overlay zones (continued)

| type | overlay | purpose | acreage | development process |
|---------------------------------|---|---|---------|---|
| Design-Oriented | Fenton Village | Provide flexibility of development standards to facilitate a cohesive urban development pattern and encourage attractive, compatible design while allowing for new uses and the transfer of public use space | 34.76 | Site plan review, except where cumulative redevelopment does not exceed 20% of existing gross floor area |
| | Ripley/South Silver Spring | Provide flexibility of development standards to facilitate a cohesive urban development pattern and encourage attractive, compatible design while allowing for new uses and the transfer of public use space requirements | 54.64 | Standard method in accordance with underlying zone; Optional method for use of development credits; Site plan review; Project plan where applicable |
| Suburban Character Preservation | Town of Garrett Park | Create uniform development standards to preserve the park-like setting of the garden suburb by maintaining housing stock yet allowing a reasonable amount of expansion in living space that is compatible in scale, siting, and lot orientation | 158.65 | Site plan review only required if building height is involved |
| | Sandy Spring/Ashton Rural Village | Preserve the rural village character by encouraging new or expanded houses or businesses to be compatible in terms of scale, siting, design features, and orientation on the site | 137.19 | Site plan review |
| | Rural Village Center | Emphasize the open, green character of the surroundings by creating attractive, cohesive, and pedestrian-friendly rural village centers, consisting of a mix of uses as allowed in the underlying zones | 98.90 | Site plan review |
| Environment-Oriented | Upper Paint Branch Special Protection Area | Protect the water quality and quantity as well as the biodiversity of the area by regulating impervious surfaces and other land uses that could adversely affect the watershed | 4784.85 | Not listed |
| | Upper Rock Creek Special Protection Area | Protect the water quality and quantity as well as the biodiversity of the area by regulating impervious surfaces and other land uses that could adversely affect the watershed | 7689.80 | Not listed |

Uses in the Zoning Code

The following table compiles the 425 uses allowed to operate in the County, sorted by zone. The Code includes a series of tables by land use classification to regulate a zone's permitted (P) or special exception (SE) uses.

As part of the Code rewrite, this list is being analyzed and rationalized to determine if uses are:

- current or need to be updated
- appear numerous times with slight variation
- able to be expressed in more general terms
- unnecessary or redundant.

[illegible]

[illegible]

[illegible]

LAND USE

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

Development Standards

Development standards regulate the site layout, building placement, and size of structures. They include requirements such as lot size,

setbacks, density, height, coverage, and are located in tables and in text throughout the Code. To determine and analyze similarities and differences among zones, we have compiled all of the information in one place.

commercial and industrial development standards

Area Requirements and Restrictions

| | Minimum Tract Area Requirement (acres) | Maximum Tract Area Requirement (acres) | Minimum Net Lot Size (acres) | Minimum Lot Width at Street Line (feet) |
|------------------|--|---|--|--|
| C-T | | | | 100 (for new construction) |
| O-M | | | | |
| C-O | | | | |
| C-P | 5 | | 2 | 100 |
| C-2 | | | | |
| C-2 Transit | 0.92 (40,000 sf) | | must meet area requirement | |
| C-3 | | | | |
| C-4 | | | | 100 on arterial or major road |
| C-4 Optional | | | 2 | 100 on arterial or major road |
| H-M | 2 | | | |
| Country Inn | | | 2 | |
| C-5 | | | | |
| C-6 | 40 | | | |
| I-1 | | | | |
| I-2 | | | | |
| I-3 | 20 <u>or</u> 2 (if combined with other I zones to create tract of 20 acres +) or less if recommended by mp | | 2 | |
| I-3 Optional | 20 <u>or</u> 2 if combined with other I zones to create tract of 20 acres + (or less if recommended by mp) | | determined at site plan | determined at site plan |
| I-4 | 10 <u>or</u> 2 if combined with I zones and is recommended by mp | | 1 (and each may only have one main building) | |
| R&D | | | 2 | |
| LSC | | | | |
| MRR w/o minerals | | | 5 | 300 (also 300 at building line) |
| MRR w/minerals | | | 10 <u>or</u> sum of extraction area plus area for setback & perf. stnds. | |

| Coverage Requirements and Restrictions | | | Density | | | |
|--|--|--|---|--|------------------------|---|
| | Maximum Building and Accessory Structure Coverage (% of lot) | Minimum Green Area (% of lot) | Minimum Public-Use Space (% of net lot) | Minimum Public Dedication (% of net lot) | Maximum Units Per Acre | Maximum Floor Area Ratio |
| C-T | 30 (for lots under 12,000 square feet); 35 for others | 10 | | | | 0.5 (for new construction) |
| O-M | 60 <u>or</u> 75 if lot is over 1/2 acre and 15% green area is provided and 80% of additional floor area is for parking | 10 <u>or</u> 15 if 75% coverage is requested | | | | 1.5 |
| C-O | | | | | | 1.5 (up to 3 with site plan) |
| C-P | 20 <u>or</u> 25 if all parking is structured | 40 | | | | |
| C-1 | | 10 | | | | |
| C-2 | | 10 | | | | 1.5 (up to 2.5 if only 1.0 is commercial located on the ground floor) |
| C-3 | 35 if auto-related use | 10 | | | | |
| C-4 | 25 | 10 | | | | 0.25 including cellar space not used for storage |
| C-4 Optional | 35 | 10 | | | | 0.75 |
| H-M | 25 | 45 | | | | 1 |
| Country Inn | 10 | 50 | | | | |
| C-5 | | 25 | | | | 0.25 |
| C-6 | 35 based on gta for tract within zone | 20 based on gta | | | | 0.25 for buildings w/>50% retail excluding storage exceeding 35% of gross area devoted to retail; 0.5 including cellar space not used for storage |
| I-1 | | 10 (of gta) + 5% of net lot area for each story over 3 | | | | |
| I-2 | | 10 (of gta) | | | | |
| I-3 | | 35 (of gta) | | | | 0.5 (averaged over gta of lots in zone with covenants) up to 0.6 with |

| | | | | | | |
|------------------|---|--|--|--|--|---|
| | | | | | tma resulting in trips equal to 0.5 | |
| I-3 Optional | | 35 (of gta) | | 8 units per acre for gta + MPDU and TDR densities up to 12.5 (unless mp recommends less) | 0.6 non-residential (20% max retail/service, 60% min employment) up to density limits in mp | |
| I-4 | | 20 (of gta) | | | 1 | |
| R&D | | 30 (of gta) | | | 0.3 (averaged over gta); optional method - 0.5 | |
| LSC | 25 <u>or</u> 50 if structured or underground parking is provided | 25 (of gta) including roofs of parking if for passive or rec use | | | 0.3 (averaged over gta of lots in zone with covenants) up to 0.5 with tma | |
| MRR w/o minerals | 10 | | | | | |
| MRR w/minerals | 10 | 25 | | | | |
| C-T | 10 | 15 (for new construction) if the building has windows or apertures <u>or</u> if adjoining lot is residential | 15 (for new construction) if the building has windows or apertures <u>or</u> if adjoining lot is residential | | 24 (for lots under 12,000 square feet); 35 for others | |
| O-M | 15 | 1 foot for every 3 feet of height if the building has windows or apertures <u>or</u> if adjoining lot is residential | | | 60 <u>or</u> 72 if lot is over 1/2 acre and 15% green area is provided and 80% of additional floor are is used for parking | 5 or 7 if lot is over 1/2 acre and 15% green area is provided and 80% of additional floor are is used for parking |
| C-O | in CBD: 0 <u>or</u> 70' from center line; out of CBD: 1/6 of height | in CBD: if adjoining lot is residential - equal to that setback; out of CBD: 1/4 height if the building has windows <u>or</u> adjoining lot is used for other than comm or indus | in CBD: if adjoining lot is residential - equal to that setback; out of CBD: 1/4 height if the building has windows <u>or</u> adjoining lot is used for other than comm or indus | 3 | 42 (or up to an average of 97 with site plan) | 3 (or up to 8 with site plan) |

| Yards, Setbacks, Heights | | | | | | | |
|--------------------------|---|---|---|---|-----------------------------------|---|--|
| | Minimum Building Setback from Street (feet) | Minimum Building Side Setback from Adjoining Lot (feet) | Minimum Building Rear Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | No yard shall be less than (feet) | Maximum Building Height for Main Building (feet) | Maximum Number of Stories for Main Building (stories) |
| C-P | 150 from limited access; 100 from major or arterial; 50 | 50 from residential; 30 from I-3 | | | | 50 +1/foot by which setback exceeds minimum required by adjacent zone; none if more than 300 feet from lot line | up to 3 additional floors if 60% of those floors is dedicated to parking and the average height of the floors is 11 feet |
| C-1 | 10; none if "mainstreet" is recommended by master plan; equal to majority of lots on that street but ≥ 10 or 60 from center line | if residential - equal to that setback | if residential - equal to that setback | | 10 | 30 with specific measurement criteria | |
| | Minimum Building Setback from Street (feet) | Minimum Building Side Setback from Adjoining Lot (feet) | Minimum Building Rear Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | No yard shall be less than (feet) | Maximum Building Height for Main Building (feet) | Maximum Number of Stories for Main Building (stories) |
| C-2 | 10; none if "mainstreet" is recommended by master plan | if residential - equal to that setback | if residential - equal to that setback | | 3 | 42 (up to 60 if an expansion...; up to 75 if 60% of FAR is residential and development is 300 feet from one-family residential use) | 3 (up to 5 if expansion) |

| Yards, Setbacks, Heights | | | | | | | |
|--------------------------|---|---|---|---|-----------------------------------|--|---|
| | Minimum Building Setback from Street (feet) | Minimum Building Side Setback from Adjoining Lot (feet) | Minimum Building Rear Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | No yard shall be less than (feet) | Maximum Building Height for Main Building (feet) | Maximum Number of Stories for Main Building (stories) |
| C-2 Transit | none unless confronting use is residential - then 3' per 1' of height over 75' from residentially zoned property | if residential - 3' per 1' of height over 75' | if residential - 3' per 1' of height over 75' | | | 180 | |
| C-3 | 10 <u>or</u> 70 from center line; for auto-related: 50 if r.o.w. is 120'+ (unless Board reduces at site plan) | if residential - equal to that setback; for arena or stadium: 1' for every foot above 42'; for auto-related: 10 to comm/indus, 50 to res, 50 from controlled highway or limited freeway | if residential - equal to that setback; for arena or stadium: 1' for every foot above 42'; for auto-related: 10 to comm/indus, 50 to res, 50 from controlled highway or limited freeway | | | 42 (except for arena or stadium); 84 for auto sales and service where recommended in master plan | 7 for auto sales and service where recommended in master plan |
| C-4 | 10 <u>or</u> 60 from center line <u>or</u> equal to setback of majority of lots fronting on that street, but not less than 10 | if residential - equal to that setback; if building has windows or apertures - equal to adjoining setback | if residential - equal to that setback; if building has windows or apertures - equal to adjoining setback | | | 30 | 2 |
| C-4 Optional | 10 <u>or</u> 60 from center line <u>or</u> equal to setback of majority of lots fronting on that street, but not less than 10 | if residential - equal to that setback or to height of building, whichever is greater | if residential - equal to that setback or to height of building, whichever is greater | | | 40 | 3 |
| H-M | | if residential: equal to the highest point of the building; otherwise, equal to 1/3 the highest point | if residential: equal to the highest point of the building; otherwise, equal to 1/3 the highest point | | | | 15 |

| Yards, Setbacks, Heights | | | | | | | |
|--------------------------|--|---|---|---|-----------------------------------|---|---|
| | Minimum Building Setback from Street (feet) | Minimum Building Side Setback from Adjoining Lot (feet) | Minimum Building Rear Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | No yard shall be less than (feet) | Maximum Building Height for Main Building (feet) | Maximum Number of Stories for Main Building (stories) |
| Country Inn | 50 (or less if the council approves such for an existing building on a development plan) | 75 (or less if the council approves such for an existing building on a development plan) | 75 (or less if the council approves such for an existing building on a development plan) | | | | 2.5 (except for existing buildings); accessory buildings: 2 (except for existing buildings) |
| C-5 | 30 from major highway/r.o.w. =>100'; 15 from r.o.w. <100' | 30 from residential; 15 from com. or indus | 30 from residential; 15 from com. or indus | | | 35 | |
| C-6 | from public road with confronting residential: building - 200 (waived down to 150), parking 100; interchange ramp: 100 for buildings, 50 for parking; existing or planned limited access freeway: 200 for buildings (parking structures may be 100), 100 for parking; major highway: 100 for building and parking; arterial road and transitway: 25 for building and parking; other roads: 20 for building and parking | if residential: 200 for buildings, 100 for parking; if com or indus: 20 for buildings and parking | if residential: 200 for buildings, 100 for parking; if com or indus: 20 for buildings and parking | | | 40 (excluding parapets); 100 for "principally" office | |
| I-1 | 10 <u>or</u> 60 from center line | if residential - equal to that setback <u>but</u> with additional height - 1/2 height of building | if residential - equal to that setback <u>but</u> with additional height - 1/2 height of building | | 10 | 42 up to 120 w/additional requirements | 3 up to 10 w/additional requirements |
| I-2 | 10 <u>or</u> 60 from center line | if residential - equal to that setback | if residential - equal to that setback | | 10 | 70 | 5 |
| I-3 | from 25 to 200 | from 20 to 200 | from 20 to 200 s | 30 | | 100 | |

| Yards, Setbacks, Heights | | | | | | | |
|--------------------------|--|--|---|---|-----------------------------------|--|---|
| | Minimum Building Setback from Street (feet) | Minimum Building Side Setback from Adjoining Lot (feet) | Minimum Building Rear Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | No yard shall be less than (feet) | Maximum Building Height for Main Building (feet) | Maximum Number of Stories for Main Building (stories) |
| I-3 Optional | | limited access freeway - 100 for buildings, 50 for parking; major highway - 50 | if recommended one-family residential - 100; if recommended multi-family residential - 30 for residential, 100 for commercial; if recommended non-residential - 25; if non-residential - 25 | if recommended one-family residential - 100; if recommended multi-family residential - 30 for residential, 100 for commercial; if recommended non-residential - 25; if non-residential - 25 | 30 | | 100 |
| I-4 | 50 from railroad, utility r.o.w., arterial with confronting residential, limited-access freeway, parkway, or major highway; 25 from arterial with confronting commercial and internal roads, streets or private r.o.w.; for parking: 25 from limited access freeway, major highway, arterial, railroad or utility r.o.w., local street or internal private drive | if residential - 100, com or indus - 10; 50 for parking abutting residential, 10 for parking abutting com or indus | if residential - 100, com or indus - 10; 50 for parking abutting residential, 10 for parking abutting com or indus | | | 42 | 3 |
| R&D | from 25 to 200 with footnotes, waivers, etc.; may be less under optional method | from 20 to 200 with waivers and caveats; may be less under optional method | from 20 to 200 with waivers and caveats; may be less under optional method | 30 | | 50; optional method - 75 | |
| LSC | 25 from interior roads; 50 from perimeter roads; 50 from entry gateway | 20 from interior lot line | 20 from interior lot line | | | 100 | |

| Yards, Setbacks, Heights | | | | | | | |
|--------------------------|---|---|---|---|-----------------------------------|---|---|
| | Minimum Building Setback from Street (feet) | Minimum Building Side Setback from Adjoining Lot (feet) | Minimum Building Rear Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | No yard shall be less than (feet) | Maximum Building Height for Main Building (feet) | Maximum Number of Stories for Main Building (stories) |
| MRR w/o minerals | 50 (including corner lot side street) | 20 each, 40 total | 35 | | | 50 (no limit for ag buildings) | |
| MRR w/minerals | "amount sufficient to achieve the performance standards" with some exclusions - set at development plan | "amount sufficient to achieve the performance standards" with some exclusions - set at development plan | "amount sufficient to achieve the performance standards" with some exclusions - set at development plan | | | 90 or projection of 5% from zone boundary (except for some railroad structures) | |
| Plans Required | | | | | | | |
| | MPDU units Required | | Development Plan Required | | Site Plan Required | | |
| C-T | | | | | yes | | |
| O-M | | | | | yes | | |
| C-O | | | | | if additional height requested | | |
| C-P | | | | | yes | | |
| C-1 | | | | | if > 15 acre tract area | | |
| C-2 | yes | | | | sometimes | | |
| C-2 Transit | yes | | | | yes | | |
| C-4 | | | | | | | |
| C-4 Optional | | | | | yes | | |
| H-M | | | | | yes | | |
| Country Inn | | | yes | | yes | | |
| C-5 | | | | | | | |
| C-6 | | | | | yes | | |

Plans Required

| | MPDU units Required | Development Plan Required | Site Plan Required |
|------------------|---------------------|---------------------------|--------------------|
| I-1 | | | yes |
| I-2 | | | |
| I-3 | | | yes |
| I-3 Optional | | | yes |
| I-4 | | | if optional method |
| R&D | | | yes |
| LSC | | | yes |
| MRR w/o minerals | | yes | yes |
| MRR w/minerals | | yes | yes |

cbd development standards

Area Requirements and Restrictions

Coverage Requirements and Restrictions

| | Minimum Net Lot Size (acres) | Maximum Building and Accessory Structure Coverage (% of lot) | Minimum Green Area (% of lot) | Minimum Public-Use Space (% of net lot) | Minimum Recreation Space (% of net lot) |
|------------------|--|--|---|--|---|
| CBD-0.5 Optional | 0.41 (18,000 square feet) (may be less if recommended in mp <u>or</u> if combined with another lot under density transfer provisions | | | 20 | |
| CBD-R1 | "sufficient net area to provide 150 sf for each apartment unit and 75 sf for each hotel unit" | 75 | setbacks must be maintained as green area | 10 (5 to accommodate MPDUs; 0 to accommodate MPDUs and workforce housing, if 5 is provided off-site) | |
| CBD-R1 Optional | 0.41 (18,000 square feet) (may be less if recommended in mp <u>or</u> if combined with another lot under density transfer provisions | | | 20 (except for non-profits) | |
| CBD-R2 | "sufficient net area to provide 150 sf for each apartment unit and 75 sf for each hotel unit" | 75 | setbacks must be maintained as green area | 10 | |
| CBD-R2 Optional | 0.41 (18,000 square feet) (may be less if recommended in mp <u>or</u> if combined with another lot under density transfer provisions | | | 20 | |

Area Requirements and Restrictions
Coverage Requirements and Restrictions

| | Minimum Net Lot Size (acres) | Maximum Building and Accessory Structure Coverage (% of lot) | Minimum Green Area (% of lot) | Minimum Public-Use Space (% of net lot) | Minimum Recreation Space (% of net lot) |
|------------------|--|--|---|---|---|
| CBD-1 | | 75 | setbacks must be maintained as green area | 10 | |
| CBD-1 Optional | 0.41 (18,000 square feet) (may be less if recommended in mp <u>or</u> if combined with another lot under density transfer provisions | | | 20 (except for expansion of a telephone communications center) | |
| CBD-2 | | 75 | setbacks must be maintained as green area | 10 | |
| CBD-2 Optional | 0.41 (18,000 square feet) (may be less if recommended in mp <u>or</u> if combined with another lot under density transfer provisions | | | 20 | |
| CBD-3 | | 75 | setbacks must be maintained as green area | 10 | |
| CBD-3 Optional | 0.41 (18,000 square feet) (may be less if recommended in mp <u>or</u> if combined with another lot under density transfer provisions | | | 20 | |
| TS-R | | | | 10 | 20; 25 for lots over 40,000 sf (not applicable to hotel, motel, and non-residential uses) |
| TS-M | | | | 10 | 0; 25 for developments with 50 or more units |
| Density | | | | | |
| | | Maximum Units Per Acre | | Maximum Floor Area Ratio | |
| CBD-0.5 | | 35 + MPDU bonus if 100% res | | 0.5 non-res (subject to site plan if exceeded) <u>or</u> 1 non-res for Enterprise Zone, 1 total | |
| CBD-0.5 Optional | | 100 | | if com only: 1; if mixed: 1 non-res (not to exceed 67% of gfa), 1.5 total | |
| CBD-R1 | | 43 + MPDU bonus if 100% res | | 1 non-res, 1 total (subject to site plan if exceeded) | |

| Density | | | | |
|------------------|---|---|--|-----------------------------------|
| | | Maximum Units Per Acre | Maximum Floor Area Ratio | |
| CBD-R1 Optional | | 125 | if mixed: 0.6 non-res (not to exceed 20% of gfa) up to 1.2 if non-profit..., 3 total | |
| CBD-R2 | | 80 + MPDU bonus if 100% res | 1 non-res, 1 total (limited to 450,000 gross square feet of non-res on sites of 10 acres or more) | |
| CBD-R2 Optional | | 200 | if mixed: 1 non-res (5% of gfa must be com but may not exceed 450,000 gross square feet on sites of 10 acres or more), 5 total (waivers and exceptions for hotels exist) | |
| CBD-1 | | 43 + MPDU bonus if 100% res | 1 non-res, 2 total (subject to site plan if exceeded) | |
| CBD-1 Optional | | 125 | if com only: 2 (up to 2.3 for existing telephone....); if mixed: 2 non-res (not to exceed 67% of gfa), 5 total | |
| CBD-2 | | 80 + MPDU bonus if 100% res | 2 non-res, 3 total (subject to site plan if exceeded) | |
| CBD-2 Optional | | 200 | if com only: 4; if mixed: 3 non-res (not to exceed 60% of gfa), 5 total | |
| CBD-3 | | 120 + MPDU bonus if 100% res | 3 non-res, 4 total (subject to site plan if exceeded) | |
| CBD-3 Optional | | 200 | if com only: 6; if mixed: 5 non-res (not to exceed 62.5% gfa), 8 total | |
| TS-R | | 150 | 2.5 | |
| TS-M | | | 3 | |
| Yards, Setbacks | | | | |
| | Minimum Building Setback from Street (feet) | Minimum Building Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | No yard shall be less than (feet) |
| CBD-0.5 | 1 for every 3' of height above 30' | 15 if building has windows, etc. or if adjoining lot is res | | |
| CBD-0.5 Optional | | | | |
| CBD-R1 | 1 for every 6' of height above 30'; 50 from center line | 15 if building has windows, etc. or if adjoining lot is res; if 143' high or less - 10; if >143' high - 10 + 1' per 1' of additional height | | |
| CBD-R1 Optional | | | | |
| CBD-R2 | 1 for every 6' of height above 30'; 50 from center line | 15 if building has windows, etc. or if adjoining lot is res; if 143' high or less - 10; if >143' high - 10 + 1' per 1' of additional height | | |
| CBD-R2 Optional | | | | |

| Yards, Setbacks | | | | |
|-----------------|--|---|---|-----------------------------------|
| | Minimum Building Setback from Street (feet) | Minimum Building Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | No yard shall be less than (feet) |
| CBD-1 Optional | | | | |
| | | if adjoining lot is outside of CBD - equal to that required by the recommended zoning in an mp; if proposed building has or doesn't have windows and adjoins res - 1 for every 2' of height, 15 min; if proposed building has windows and adjoins com or indus - 15; if proposed building has no windows and adjoins no-res with windows, etc. - 15 (may be reduced by board during site plan review limited to setbacks) | | |
| CBD-2 | 1 for every 6' of height above 30' | | 2x setback required from adjoining lot | |
| CBD-2 Optional | | | | |
| | | if adjoining lot is outside of CBD - equal to that required by the recommended zoning in an mp; if proposed building has or doesn't have windows and adjoins res - 1 for every 2' of height, 15 min; if proposed building has windows and adjoins com or indus - 15; if proposed building has no windows and adjoins no-res with windows, etc. - 15 (may be reduced by board during site plan review limited to setbacks) | | |
| CBD-3 | 1 for every 6' of height above 30' | | 2x setback required from adjoining lot | |
| CBD-3 Optional | | | | |
| TS-R | | | | |
| TS-M | | | | |
| Height | Maximum Building Height for Main Building (feet) | Development Plan Required | Project Plan Required | Site Plan Required |

| | | | |
|------------------|--|-----|------------------------|
| CBD-0.5 | 45; 35 if adjoining or confronting a res zone of less than 15 dua; + 8 for mechanical structures | | for waiver of setbacks |
| CBD-0.5 Optional | 60 up to 90 if certain conditions are met | yes | yes |
| CBD-R1 | 60; 35 if adjoining or confronting a res zone of less than 15 dua; + 8 for mechanical | | yes |
| CBD-R1 Optional | 60 up to 143 if certain conditions are met | yes | yes |
| CBD-R2 | 60; + 8 for mechanical | | yes |

| Height | | | | |
|-----------------|--|---------------------------|-----------------------|------------------------|
| | Maximum Building Height for Main Building (feet) | Development Plan Required | Project Plan Required | Site Plan Required |
| CBD-R2 Optional | 143 up to 200 if certain conditions are met | yes | yes | |
| CBD-1 | 60; 35 if adjoining or confronting a res zone of less than 15 dua; + 8 for mechanical | | | for waiver of setbacks |
| CBD-1 Optional | 60 up to 90 if certain conditions are met up to 143 if certain other conditions are met | | yes | yes |
| CBD-2 | 60; + 8 for mechanical | | | for waiver of setbacks |
| CBD-2 Optional | 143 up to 200 if certain conditions are met | | yes | yes |
| CBD-3 | 72 | | | for waiver of setbacks |
| CBD-3 Optional | 143 up to 200 if certain conditions are met | | yes | yes |
| TS-R | | yes | | yes |
| TS-M | | yes | | yes |

mixed use

| Coverage Requirements and Restrictions | | | | | | |
|---|--------------------------|--|---|--|--|---|
| Minimum Net Lot Size (acres) | | Maximum Building and Accessory Structure Coverage (% of lot) | Minimum Green Area or Outside Amenity Area (% of lot) | Minimum Public-Use Space (% of net lot) | | |
| RMX-1, RMX-2, & RMX-3 Standard | | | | | | |
| RMX-1, -2, & -3/TDR Standard | | | | | | |
| RMX-2C, -2C/TDR, & -3C Standard | | | | | | |
| RMX-1 & RMX-1/TDR Optional | | | 15% in commercial portion; 50% in residential portion | | | |
| RMX-2, RMX-2/TDR, RMX-2C, & RMX-2C/TDR Optional | | | 15% in commercial portion; 50% in residential portion | | | |
| RMX-3 & RMX-3/TDR Optional | | | 20% in commercial portion; 50% in residential portion | | | |
| RMX-3C Optional | | | 10% in commercial portion; 20% in residential portion | | | |
| RMX-2C, RMX-2C/TDR, & RMX-3C Concept Plan | | | | | | |
| MXTC & MXTC/TDR Standard | | | | | | |
| MXTC & MXTC/TDR Optional | | | | | | |
| TOMX & TOMX/TDR Standard | | 75 | | | | 10 (5 if space is needed to provide MPDUs) |
| TOMX & TOMX/TDR Optional | | 0.41 (18,000 square feet) unless less is recommended in mp | | | | 20 (down to 0 if needed to provided MPDUs but equal amount must be created off-site within the same transit station development area) |
| Density | | Yards | | Height | | |
| Minimum Units Per (Acre) | Maximum Units (Per Acre) | Maximum Floor Area Ratio | Minimum Building Setback from Street (feet) | Minimum Building Setback from Adjoining Lot (feet) | Maximum Building Height for Main Building (feet) | |
| RMX-1, RMX-2, & RMX-3 Standard | | | | | | |
| RMX-1, -2, & -3/TDR Standard | 11 or mp recommendation | | | | | |

| Coverage Requirements and Restrictions | | | | | |
|---|---|---|--|---|---|
| Minimum Net Lot Size (acres) | | | Maximum Building and Accessory Structure Coverage (% of lot) | Minimum Green Area or Outside Amenity Area (% of lot) | Minimum Public-Use Space (% of net lot) |
| RMX-2C, -2C/TDR, & -3C Standard | | | 0.3 | | |
| RMX-1 & RMX-1/TDR Optional | if >30 acre site, 150 total units (not to exceed density in mp) | 30 in residential portion; 40 in commercial portion (not to exceed density in mp) | 0.35 com density (not to exceed density in mp) | com: 25; res: 30; none if in accord with mp | com: from one-family res - 100, from other res - 50, from com or ind - 25; res: from one-family res - 100, from other res - 30, from com or ind - 30 (may be reduced up to 50%) |
| RMX-2, RMX-2/TDR, RMX-2C, & RMX-2C/TDR Optional | if >30 acre site, 150 total units (not to exceed density in mp) | 30 in residential portion; 40 in commercial portion (not to exceed density in mp) | 0.5 com density (not to exceed density in mp) | com: 25; res: 30; none if in accord with mp | com: from one-family res - 100, from other res - 50, from com or ind - 25; res: from one-family res - 100, from other res - 30, from com or ind - 30 (may be reduced up to 50%) |
| RMX-3 & RMX-3/TDR Optional | if >30 acre site, 150 total units (not to exceed density in mp) | 30 in residential portion; 40 in commercial portion (not to exceed density in mp) | 0.5 com density (not to exceed density in mp) | com: 25; res: 30; none if in accord with mp | com: from one-family res - 100, from other res - 50, from com or ind - 25; res: from one-family res - 100, from other res - 30, from com or ind - 30 (may be reduced up to 50%) |
| RMX-3C Optional | if >30 acre site, 150 total units (not to exceed density in mp) | 30 in residential portion; 40 in commercial portion (not to exceed density in mp) | 0.5 com density (not to exceed density in mp) | com: 25; res: 30; none if in accord with mp | com: from one-family res - 100, from other res - 50, from com or ind - 25; res: from one-family res - 100, from other res - 30, from com or ind - 30 (may be reduced up to 50%) |
| RMX-2C, RMX-2C/TDR, & RMX-3C Concept Plan | | | | | |

Density, Yards, Height

| | Minimum Units (Per Acre) | Maximum Units (Per Acre) | Maximum Floor Area Ratio | Minimum Building Setback from Street (feet) | Minimum Building Setback from Adjoining Lot (feet) | Maximum Building Height for Main Building (feet) |
|-----------------------------|-----------------------------|---|---|---|---|--|
| MXTC & MXTC/TDR Standard | | 8 (+ MPDU density bonus) | 0.35 non-residential | 10 | from same or commercial zone: 0; from res zone: 20 | 42 |
| MXTC & MXTC/TDR Optional | | 20 (+ MPDU density bonus) | 1.0 non-residential | 10 | from same or commercial zone: 0; from res zone: 20 | 70 |
| TOMX & TOMX/TDR Standard | | for TDR Zone: not using TDRs - 20, using TDRs - + 20% | 0.5 (+ MPDU density bonus); for TDR Zone: not using TDRs - 0.5, using TDRs - + 20% | 10 | from adjacent TOMX Zone: 0 <u>or</u> 15 if building has windows, etc.; from com or ind: 20; from one-family res: 25 | 50; 35 if adjoining or confronting res zone w/<15 units per acre |
| TOMX & TOMX/TDR Optional | | for TDR Zone: not using TDRs 40, using TDRs - + 20% | 2.0 (+ MPDU density bonus); for TDR Zone: not using TDRs - 1.6, using TDRs - + 20% | | | |

Plans Required

| | Project Plan Required | Site Plan Required |
|--|-----------------------|--|
| RMX-1, RMX-2, & RMX-3 Standard | | |
| RMX-1, -2, & -3/TDR Standard | | |
| RMX-2C, -2C/TDR, & -3C Standard | | RMX-2C & RMX-3C: in most circumstances |
| RMX-1 & RMX-1/TDR Optional | yes | yes |
| RMX-2, RMX-2/TDR, RMX-2C, & RMX-2C/TDR Optional | yes | yes |
| RMX-3 & RMX-3/TDR Optional | yes | yes |
| RMX-3C Optional | yes | yes |

| Plans Required | | |
|---|-----------------------|--------------------|
| | Project Plan Required | Site Plan Required |
| RMX-2C, RMX-2C/TDR, & RMX-3C Concept Plan | | |
| MXTC & MXTC/TDR Standard | | usually |
| MXTC & MXTC/TDR Optional | | yes |
| TOMX & TOMX/TDR Standard | | |
| TOMX & TOMX/TDR Optional | | |

residential development standards

| Lot Standards | | | | | | | | | | |
|---------------------------|--|--|-----------------------------|--|---|--|--|---|--|---|
| | Minimum Tract Area Requirement (square feet) | Maximum Tract Area Requirement (acres) | Minimum Gross Acres (acres) | Minimum Net Lot Size for One-Family Detached Units (square feet) | Minimum Net Lot Size for One-Family Semi-Detached Units (square feet) | Minimum Net Lot Size for Two-Family Detached Units (square feet) | Minimum Lot Width at Building for One-Family Detached Units (feet) | Minimum Lot Width at Building for One-Family Semi-Detached Units (feet) | Minimum Lot Width at Building for Two-Family Detached Units (feet) | Minimum Lot Width at Street Line (feet) |
| RE-2 | | | | 87,120 | | | 150 | | | 25 |
| RE-2C | | | | 87,120 | | | 150 | | | 25 |
| RE-1 | | | | 40,000 | | | 125 | | | 25 |
| R-200 | | | | 20,000 | | | 100 | | | 25 |
| R-90 | | | | 9,000 | | | 75 | | | 25 |
| R-60 | | | | 6,000 | | | 60 | | | 25 |
| R-40 | | | | 6,000 | 4,000 | 8,000 | 60 | 40 | 80 | 25 for one-family detached |
| RMH-200 | | 5 acres unless recommended by MP | | 20,000 | | | 100 | | | 25 |
| R-4 plex | 20,000 | | | | | | | | | |
| RE-2/TDR Optional Method | | | | | | | | | | |
| RE-2C/TDR Optional Method | | | | | | | | | | |
| RE-1/TDR Optional Method | | | | | | | | | | |
| R-200/TDR Optional Method | | | | | | | | | | |
| R-90/TDR Optional Method | | | | | | | | | | |
| R-60/TDR Optional Method | | | | | | | | | | |
| RT-6.0 | | | | | | | | | | |
| RT-8.0 | | | | | | | | | | |
| RT-10.0 | | | | | | | | | | |
| RT-12.5 | | | | | | | | | | |

| Lot Standards | | | | | | | | | | |
|------------------------|--|--|-----------------------------|--|---|--|--|---|--|---|
| | Minimum Tract Area Requirement (square feet) | Maximum Tract Area Requirement (acres) | Minimum Gross Acres (acres) | Minimum Net Lot Size for One-Family Detached Units (square feet) | Minimum Net Lot Size for One-Family Semi-Detached Units (square feet) | Minimum Net Lot Size for Two-Family Detached Units (square feet) | Minimum Lot Width at Building for One-Family Detached Units (feet) | Minimum Lot Width at Building for One-Family Semi-Detached Units (feet) | Minimum Lot Width at Building for Two-Family Detached Units (feet) | Minimum Lot Width at Street Line (feet) |
| Rural | | | | 217,800 (5 acres) | | 300 | | | | 25 |
| RC | | | | 217,800 (5 acres) | | 300 | | | | 300 |
| RC - Cluster Option | | | | 40,000 | | | 125 | | | 25 |
| RDT | | | | 40,000 | | | 125 | | | 25 |
| RNC & RNC/TDR Standard | | | | 25,000 | | | 100 | | | 25 |
| RNC - Optional | 435,600 (10 acres) | | | 4,000 | 3,500 | | | | | 25 |
| RNC/TDR optional | | | | 4,000 | 3,500 | | | | | 25 |

| Lot Standards | | | | | | | | | | |
|---|--|--|--|--|---|--|--|---|--|---|
| | Minimum Tract Area Requirement (square feet) | Maximum Tract Area Requirement (acres) | Minimum Gross Acres (acres) | Minimum Net Lot Size for One-Family Detached Units (square feet) | Minimum Net Lot Size for One-Family Semi-Detached Units (square feet) | Minimum Net Lot Size for Two-Family Detached Units (square feet) | Minimum Lot Width at Building for One-Family Detached Units (feet) | Minimum Lot Width at Building for One-Family Semi-Detached Units (feet) | Minimum Lot Width at Building for Two-Family Detached Units (feet) | Minimum Lot Width at Street Line (feet) |
| RS | | | | 87,210 (2 acres) | | | 125 | | | 300 |
| LDRCZ | | | | 217,800 (5 acres) | | | 300 | | | 300 |
| LDRCZ - Cluster Option | | | | 40,000 | | | 125 | | | 25 |
| Equestrian Facilities | | | 1-2 horses: 2; 3-10 horses: 1 per horse; >10 horses: +1/2 per additional horse | | | | | | | |
| RS - Recycling Facility | 435,600 (10 acres) lot size | | | | | | | | | 1,000 |
| Coverage Requirements and Restrictions, Density | | | | | | | | | | |
| | Maximum Building and Accessory Structure Coverage % of net lot | Maximum Accessory Structure Coverage of Rear Yard % of rear yard | Maximum Green Area % of net lot | Minimum Open Space % of net lot | Maximum Units Per Acre number of dwellings per acre | Maximum Floor Area Ratio | | | | |
| RE-2 | 25 | 20 | | | | | | | | |
| RE-2C | 25 | 20 | | | | | | | | |
| RE-1 | 15 | 20 | | | | | | | | |
| R-200 | 25 | 20 | | | | | | | | |
| R-90 | 30 | 20 | | | | | | | | |
| R-60 | 35 | 20 | | | | | | | | |
| R-40 | 40 | 20 | | | | | | | | |
| RMH-200 | 25 | 20 | | | | | | | | |
| R-4 plex | 35 | 20 | 50 | | 12.5 per acre of "usable area" | | | | | |
| RE-2/TDR Optional Method | | | | | 4 (or less if in MP) | | | | | |
| RE-2C/TDR Optional Method | | | | | 2 (or less if in MP) | | | | | |
| RE-1/TDR Optional Method | | | | | 2 (or less if in MP) | | | | | |
| R-200/TDR Optional | | | | | 11 (6 for R-150/TDR) (or | | | | | |

| | |
|--------------------------|-----------------------|
| Method | less if in MP) |
| R-90/TDR Optional Method | 28 (or less if in MP) |
| R-60/TDR Optional Method | 28 (or less if in MP) |

| Coverage Requirements and Restrictions, Density | | | | | | |
|---|---|---|------------------------------------|------------------------------------|---|--------------------------|
| | Maximum Building and Accessory Structure Coverage % of net lot | Maximum Accessory Structure Coverage of Rear Yard % of rear yard | Maximum Green Area % of net lot | Minimum Open Space % of net lot | Maximum Units Per Acre number of dwellings per acre | Maximum Floor Area Ratio |
| RT-6.0 | | | | | | |
| RT-8.0 | | | | | | |
| RT-10.0 | | | | | | |
| RT-12.5 | | | | | | |
| Rural | 10 (up to 40 for green- houses) | 25 | | | | |
| RC | 10 (up to 40 for green- houses) | 25 | | | | |
| RC - Cluster Option | 10 | | | | | |
| RDT | 10 (up to 40 for green- houses) | | | | 1 per 25 | |
| RNC & RNC/TDR Standard | 10 (up to 40 for green- houses) | | | 60 | 1 per 5 | |
| RNC - Optional | 35 (for one-family detached) | | | 65-80 of the tract area | 1.22 (per gross acre) | |
| RNC/TDR optional | 35 (for one-family detached) | | | 65-80 of the tract area | 1.22 (per gross acre) | |
| RS | 10 (up to 40 for green- houses) | | | 40 (no storage or parking) | | 0.15 |
| LDRCDZ | 10 (up to 40 for green- houses) | | | | | |
| LDRCDZ - Cluster Option | 10 | | | | | |
| Equestrian Facilities | | | | | | |
| RS - Recycling Facility | | | | | | |

| Yards | | | | | | | | | | |
|-------|---|---|--|---|--|---|---|---|--|---|
| | Minimum Building Setback from Tract Boundary feet | Minimum Building Setback from Street feet | Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet | Minimum Building Side Setback from Adjoining Lot feet | Minimum Building Sum of Side Setbacks from Adjoining Lots feet | Minimum Building Rear Setback from Adjoining Lot feet | Minimum Building Setback between Buildings feet | Maximum Distance of Lot from Public Street feet | Location of Accessory Structure siting | Minimum Setback of Accessory from Street feet |
| RE-2 | | 50 | 20 | 17 | 35 | 35 | | | rear yard | 80 |
| RE-2C | | 50 | 20 | 17 | 35 | 35 | | | rear yard | 80 |
| RE-1 | | 50 | 20 | 17 | 35 | 35 | | | rear yard | 80 |

| Yards | | | | | | | | | | |
|------------------------------|---|---|--|---|--|---|---|---|--|---|
| | Minimum Building Setback from Tract Boundary feet | Minimum Building Setback from Street feet | Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet | Minimum Building Side Setback from Adjoining Lot feet | Minimum Building Sum of Side Setbacks from Adjoining Lots feet | Minimum Building Rear Setback from Adjoining Lot feet | Minimum Building Setback between Buildings feet | Maximum Distance of Lot from Public Street feet | Location of Accessory Structure siting | Minimum Setback of Accessory from Street feet |
| R-200 | | 40 or EBL | 15 | 12 | 25 | 30 | | | rear yard | 65 |
| R-90 | | 30 or EBL | 15 | 8 | 25 | 25 | | | rear yard | 60 |
| R-60 | | 25 or EBL | 15 | 8 | 18 | 20 | | | rear yard | 60 |
| R-40 | | 25 | 15 | one 10' yard for semi-detached units; two 10' yards for two-family detached units | 18 for one-family detached | 20 | | | rear yard | 60 |
| RMH-200 | | 40 | 15 | 12 | 25 | 30 | | | rear yard | 65 |
| R-4 plex | as required by adjoining zone | as required by adjoining zone | | as required by adjoining zone | | as required by adjoining zone | 50 | 200 | rear yard | |
| RE-2/TDR Optional Method | | | | | | | | | | |
| RE-2C/TDR Optional Method | | | | | | | | | | |
| RE-1/TDR Optional Method | | | | | | | | | | |
| R-200/TDR Optional Method | | | | | | | | | | |
| R-90/TDR Optional Method | | | | | | | | | | |
| R-60/TDR | | | | | | | | | | |

| Yards | | | | | | | | | | |
|------------------------|---|---|--|---|--|---|---|---|--|---|
| | Minimum Building Setback from Tract Boundary (feet) | Minimum Building Setback from Street (feet) | Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) (feet) | Minimum Building Side Setback from Adjoining Lot (feet) | Minimum Building Sum of Side Setbacks from Adjoining Lots (feet) | Minimum Building Rear Setback from Adjoining Lot (feet) | Minimum Building Setback between Buildings (feet) | Maximum Distance of Lot from Public Street (feet) | Location of Accessory Structure siting | Minimum Setback of Accessory from Street (feet) |
| RC | | 50 <u>or</u> scenic setback indicated on mp | 50 <u>or</u> scenic setback indicated on mp | 20 | 40 | 35 | | | rear yard | 80 |
| RC - Cluster Option | | 50 <u>or</u> scenic setback indicated on mp | 50 <u>or</u> scenic setback indicated on mp | 17 | 35 | 35 | | | rear yard | 80 |
| RDT | | 50 <u>or</u> scenic setback indicated on mp | 50 <u>or</u> scenic setback indicated on mp | 20 | 40 | 35 | | | | 50 <u>or</u> scenic setback indicated on mp |
| RNC & RNC/TDR Standard | | 40 | 50 <u>or</u> scenic setback indicated on mp | 15 | | 35 | | | | 80 |
| RNC - Optional | | 15 | 15 | 8 (if provided) <u>or</u> equal to the adjoining zone requirement | 30 unless adjoining zone requirement is more | 35 | | | | 60 |
| RNC/TDR optional | | 40 | 15 | 8 (if provided) <u>or</u> equal to the adjoining zone requirement | 30 unless adjoining zone requirement is more | 35 | | | | 60 |
| RS | | 50; 100 from limited access freeway | 50 | 20 | 40 | 35 | | | | 80 |
| LDRCDZ | | 50 <u>or</u> scenic setback indicated on mp | 50 <u>or</u> scenic setback indicated on mp | 20 | 40 | 35 | | | | 80 |

| Yards | | | | | | | | | | |
|-------------------------|---|---|--|---|--|---|---|---|--|---|
| | Minimum Building Setback from Tract Boundary feet | Minimum Building Setback from Street feet | Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet | Minimum Building Side Setback from Adjoining Lot feet | Minimum Building Sum of Side Setbacks from Adjoining Lots feet | Minimum Building Rear Setback from Adjoining Lot feet | Minimum Building Setback between Buildings feet | Maximum Distance of Lot from Public Street feet | Location of Accessory Structure siting | Minimum Setback of Accessory from Street Feet |
| LDRCDZ - Cluster Option | | 50 or scenic setback indicated on mp | 50 or scenic setback indicated on mp | 17 | 35 | 35 | | | rear yard | 80 |
| Equestrian Facilities | | | | | | | | | | |
| RS - Recycling Facility | | 50; 100 from limited access highway | 50; 100 from limited access highway | 75 if adjoining lot is not ind or RS | | 75 if adjoining lot is not ind or RS | | | | |
| RE-2 | 10 | 15 | same as main building | 12 | 50 | 20 | 25 | 100 | 200 | |
| RE-2C | 10 | 15 | same as main building | 12 | 50 | 20 | 25 | 100 | 200 | |
| RE-1 | 10 | 15 | same as main building | 12 | 50 | 20 | 25 | 100 | 200 | |
| R-200 | 7 | 12 | same as main building | 12 | 40 | 15 | 25 | 100 | | |

| Yards | | | | | | | | | | |
|---------|--|--|--|---|---|---|---|---|--|---|
| | Minimum Building Setback from Tract Boundary feet | Minimum Building Setback from Street feet | Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet | Minimum Building Side Setback from Adjoining Lot feet | Minimum Building Sum of Side Setbacks from Adjoining Lots feet | Minimum Building Rear Setback from Adjoining Lot feet | Minimum Building Setback between Buildings feet | Maximum Distance of Lot from Public Street feet | Location of Accessory Structure siting | Minimum Setback of Accessory from Street Feet |
| R-90 | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | same as main building | 10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 30 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 25 | 100 | | |
| R-60 | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | same as main building | 10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 25 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 25 | 100 | | |
| R-40 | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | same as main building | 10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 25 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | | | | |
| RMH-200 | 12 | 12 | same as main building | 12 | 40 | 15 | | | | |

| Yards | | | | | | | | | | |
|------------------------------|---|---|--|---|--|---|---|---|--|---|
| | Minimum Building Setback from Tract Boundary feet | Minimum Building Setback from Street feet | Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet | Minimum Building Side Setback from Adjoining Lot feet | Minimum Building Sum of Side Setbacks from Adjoining Lots feet | Minimum Building Rear Setback from Adjoining Lot feet | Minimum Building Setback between Buildings feet | Maximum Distance of Lot from Public Street feet | Location of Accessory Structure siting | Minimum Setback of Accessory from Street feet |
| R-4 plex | | | same as main building | | | | | | | |
| RE-2/TDR Optional Method | | | | | | | | | | |
| RE-2C/TDR Optional Method | | | | | | | | | | |
| RE-1/TDR Optional Method | | | | | | | | | | |
| R-200/TDR Optional Method | | | | | | | | | | |
| R-90/TDR Optional Method | | | | | | | | | | |
| R-60/TDR Optional Method | | | | | | | | | | |
| RT-6.0 | | | | | | | | | | |
| RT-8.0 | | | | | | | | | | |
| RT-10.0 | | | | | | | | | | |
| RT-12.5 | | | | | | | | | | |
| Rural | 10 | 15 | 50 or scenic setback indicated on mp | | | | 25 | 100 | 200 | |

| | | | | | | |
|---------------------|----|----|---|----|-----|-----|
| RC | 10 | 15 | 50 <u>or</u> scenic setback indicated on mp | 25 | 100 | 200 |
| RC - Cluster Option | 10 | 15 | 50 <u>or</u> scenic setback indicated on mp | 25 | 100 | 200 |

| Yards | | | | | | | | | | |
|------------------------|--|--|--|---|---|---|---|---|--|---|
| | Minimum Building Setback from Tract Boundary feet | Minimum Building Setback from Street feet | Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet | Minimum Building Side Setback from Adjoining Lot feet | Minimum Building Sum of Side Setbacks from Adjoining Lots feet | Minimum Building Rear Setback from Adjoining Lot feet | Minimum Building Setback between Buildings feet | Maximum Distance of Lot from Public Street feet | Location of Accessory Structure siting | Minimum Setback of Accessory from Street feet |
| RDT | 10 | 15 | 50 <u>or</u> scenic setback indicated on mp | | | | 25 | 100 | | |
| RNC & RNC/TDR Standard | 10 | 15 | 50 | | | | 25 | 100 | | 200 |
| RNC - Optional | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | same as main building | 10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 25 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 25 | 100 | | 200 |
| RNC/TDR optional | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | same as main building | 10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 25 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line | 25 | 100 | | 200 |
| RS | 10 | 15 | 50 <u>or</u> scenic setback indicated on mp | | | | 25 | 100 | | 200 |
| LDRCZ | 10 | 15 | 50 <u>or</u> scenic setback indicated on mp | | | | 25 | 100 | | 200 |

| Yards | | | | | | | | | | |
|---|---|--|--|---|--|---|---|---|--|---|
| | Minimum Building Setback from Tract Boundary feet | Minimum Building Setback from Street feet | Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet | Minimum Building Side Setback from Adjoining Lot feet | Minimum Building Sum of Side Setbacks from Adjoining Lots feet | Minimum Building Rear Setback from Adjoining Lot feet | Minimum Building Setback between Buildings feet | Maximum Distance of Lot from Public Street feet | Location of Accessory Structure siting | Minimum Setback of Accessory from Street feet |
| LDRCDZ - Cluster Option | 10 | 15 | 50 or scenic setback indicated on mp | | | | 25 | 100 | 200 | |
| Equestrian Facilities | | | | | | | | 100 for any building, show ring, paddock, outdoor area, and manure storage area | | |
| RS - Recycling Facility | | | | | | | | | | |
| Heights, Development Requirements/Allowances/Restrictions | | | | | | | | | | |
| | Maximum Building Height for any Building except for Ag Buildings feet | Maximum Building Height for Main Building feet | Maximum Number of Stories for Main Building stories | Maximum Accessory Height feet | Maximum Accessory Stories stories | Cluster Development Permitted Y/N | MPDU units Required Y/N | Develop-ment Plan Required Y/N | Site Plan Required Y/N | |
| RE-2 | 50 | | | 50 | 50 | | | | | |
| RE-2C | 50 | | | 50 | 50 | y | y | | | |
| RE-1 | 50 | | | 50 | 50 | y | y if public water and sewer is provided or designated | | | |

| Heights, Development Requirements/Allowances/Restrictions | | | | | | | | | |
|---|---|---|---|-------------------------------|-----------------------------------|-----------------------------------|-------------------------|--------------------------------|-------------------------------------|
| | Maximum Building Height for any Building except for Ag Buildings feet | Maximum Building Height for Main Building feet | Maximum Number of Stories for Main Building stories | Maximum Accessory Height feet | Maximum Accessory Stories stories | Cluster Development Permitted Y/N | MPDU units Required Y/N | Develop-ment Plan Required Y/N | Site Plan Required Y/N |
| R-200 | 50 | | | 50 | 50 | y | y | | |
| R-90 | | 35 to highest point or 30 to mean height b/w eaves and ridge <u>or</u> 40 if approved by the PB through site plan | 2.5 or maximum height if other lots in the same block have a height = or < than <u>or</u> 3 if approved by the PB through site plan | 20 to the highest point | 2 | y | y | | y if buildings are 3 stories or 40' |
| R-60 | | 35 to highest point or 30 to mean height b/w eaves and ridge <u>or</u> 40 if approved by the PB through site plan | 2.5 or maximum height if other lots in the same block have a height = or < than <u>or</u> 3 if approved by the PB through site plan | 20 to the highest point | 2 | y | y | | y if buildings are 3 stories or 40' |
| R-40 | 35 | 35 to highest point or 30 to mean height b/w eaves and ridge <u>or</u> 40 if approved by the PB through site plan | 35 to highest point or 30 to mean height b/w eaves and ridge <u>or</u> 40 if approved by the PB through site plan | 35 / 20 to the highest point | 35 / 20 to the highest point | | y | | y if buildings are 3 stories or 40' |
| RMH-200 | | | | | | y | y | | |
| R-4 plex | | 35 | | 20 | 20 | | y | y | y |
| RE-2/TDR Optional Method | | | | | | | | | y |
| RE-2C/TDR Optional Method | | | | | | | | | y |

| | |
|---------------------------------|---|
| RE-1/TDR Optional Method | y |
| R-200/TDR Optional Method | y |
| R-90/TDR Optional Method | y |
| R-60/TDR Optional Method | y |
| RT-6.0 | |

| Heights, Development Requirements/Allowances/Restrictions | | | | | | | | | |
|---|--|--|---|-------------------------------|-----------------------------------|---|-------------------------|-------------------------------|------------------------|
| | Maximum Building Height for any Building except for Ag Buildings feet | Maximum Building Height for Main Building feet | Maximum Number of Stories for Main Building stories | Maximum Accessory Height feet | Maximum Accessory Stories stories | Cluster Development Permitted Y/N | MPDU units Required Y/N | Development Plan Required Y/N | Site Plan Required Y/N |
| RT-8.0 | | | | | | | | | |
| RT-10.0 | | | | | | | | | |
| RT-12.5 | | | | | | | | | |
| Rural | 50 | | | | | | | | |
| RC | 50 | | | | | | | | |
| RC - Cluster Option | 50 | | | | | | | | |
| RDT | 50 | | | | | | | | |
| | | | | | | yes if optional method w/public water & sewer | | | |
| RNC & RNC/TDR Standard | 35 | | | | | | | | |
| RNC - Optional | 35 | | | | | | | | yes |
| | | | | | | yes if optional method w/public water & sewer | | | |
| RNC/TDR optional | 35 | | | | | | | | yes |
| RS | 50 | | | | | | | | yes |
| LDRCZ | 50 | | | | | | | | yes |
| LDRCZ - Cluster Option | 50 | | | | | | | | yes |
| Equestrian Facilities | | | | | | | | | |
| RS - Recycling Facility | | | | | | | | | |
| RE-2 | | | | | | | | | |
| RE-2C | | | | | | | | | |
| RE-1 | | | | | | | | | |
| R-60 | | | | | | | | | |
| R-40 | | | | | | | | | |
| RMH-200 | | | | | | | | | |
| | 50% of the tract must be within 1,500 feet of land zoned C-0, C-1, C-2, C-3, I-1, I-2 or R-CBD or CBD; the tract must be served by public water and sewer and front on more than 100' of arterial or higher roads. | | | | | | | | |
| R-4 plex | | | | | | | | | |

| Heights, Development Requirements/Allowances/Restrictions | | | | | | | | | |
|---|---|--|--|-------------------------------|-----------------------------------|-----------------------------------|-------------------------|--------------------------------|------------------------|
| | Maximum Building Height for any Building except for Ag Buildings feet | Maximum Building Height for Main Building feet | Maximum Number of Stories for Main Building stories | Maximum Accessory Height feet | Maximum Accessory Stories stories | Cluster Development Permitted Y/N | MPDU units Required Y/N | Develop-ment Plan Required Y/N | Site Plan Required Y/N |
| RE-2/TDR Optional Method | | | | | | | | | |
| RE-2C/TDR Optional Method | | | | | | | | | |
| RE-1/TDR Optional Method | | | | | | | | | |
| R-200/TDR Optional Method | | | | | | | | | |
| R-90/TDR Optional Method | | | | | | | | | |
| R-60/TDR Optional Method | | | | | | | | | |
| RT-6.0 | | | | | | | | | |
| RT-8.0 | | | | | | | | | |
| RT-10.0 | | | | | | | | | |
| RT-12.5 | | | | | | | | | |
| Rural | | | | | | | | | |
| RC | | | | | | | | | |
| RC - Cluster Option | | | | | | | | | |
| RDT | | | farm tenant dwelling, mobile home, guest house, and accessory apartments or dwellings are not subject to min. lot size | | | | | | |
| RNC & RNC/TDR Standard | | | | | | | | | |
| RNC - Optional | | | lots may front on private streets if ...; diversity of lot sizes and house sizes required; must be connected to public water and sewer unless...; open space calculation is sometimes on gross, sometimes net tract area | | | | | | |
| RNC/TDR optional | | | must conform to guidelines in mp; rnc optional method standards apply | | | | | | |
| RS | | | parking in side or rear; screening requirements | | | | | | |
| LDRCDZ | | | | | | | | | |
| LDRCDZ - Cluster Option | | | | | | | | | |
| Equestrian Facilities | | | number and size of events are limited based on size of site; special conservation and management regulations if > 10 horses; special noise, lighting, and hours of operation standards | | | | | | |

| | |
|-------------------------|--|
| RS - Recycling Facility | must have direct access to primary industrial street or higher; must be within 2 miles of interstate highway interchange |
|-------------------------|--|

Development Standards Fact Sheets

The Montgomery County Zoning Code 119 zones each have applicable development standards. These fact sheets show how development looks across the County. Each sheet reflects standards as applicable in each zone, including minimum area, setbacks, height restrictions, open/green area, and parking requirements. Development patterns are shown in aerial images. For complete regulations, please refer to the Montgomery Zoning Code.

R-60

The R-60 Zone typically results in residential subdivisions with medium sized lots, a fairly dense housing pattern, up to just over seven dwelling units/acre, typically near commercial centers and just outside of CBDs.

Requirements

| | |
|---|----------------------|
| minimum net lot area | 6,000 sf .1377 ac |
| minimum lot width (at front of building) | 60 ft |
| minimum setback from street (interior lot) | 25 ft |
| sideyard setbacks (main house) | |
| minimum sideyard | 8 ft |
| sum of 2 sideyards | 18 ft |
| minimum rear yard | 20 ft |
| maximum building height (1) (main bldg: mean-30 ft to highest pt., 35 ft) | 30-35 ft |
| maximum building coverage | 35% |
| max. units/acre (for multiple lot areas) | 7.26 |

Open Space/Green Area:

none

Parking:

2 off-street parking spaces/dwelling unit

Notes

1. Bldg. Hgt. may be increased to 3 floors or 40 ft by MCPB
2. Resubdivisions may allow lots 50 ft wide and 5,000 sf net lot areas
3. Refer to complete regulations in the Montgomery county Zoning Code

Images



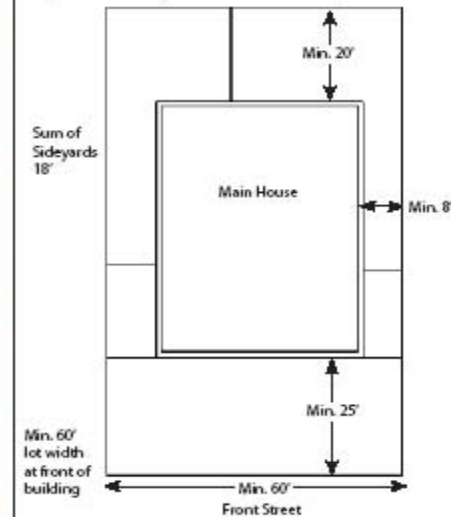
R-60 Typical Build Out Plan Pattern and Form
Silver Spring at Kerwin Rd and Ordway Dr



Existing Residential Zones

R-60 Zone: Standard Method of Development

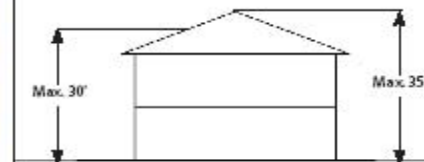
Required Lot Size, Setback and Coverage



| | | | |
|------------------------|----------|------------|-----------------|
| Min. Lot Size | 6,000 sf | Yields max | 7.26 units/acre |
| Max. Building Coverage | 35% | Yields | 2,100 sf/Floor |
| Max. Building Height | 30 ft | Yields | 2.5 Floors |

Side Section of Structure (Main House)

Height max. 35 ft. to highest roof point or;
Height Max. 30 ft measured to mid-pt. of gable,
hip, mansard, or gambrel roof



Max. Bldg. Height and Floors

R-90

Established in 1954, the R-90 Zone results in residential subdivisions with medium sized lots. At almost five du/ac, the R-90 Zone can develop into a housing pattern of medium density. The zone is typically found in down-county areas away from transportation hubs.

Requirements

| | |
|---|----------------------|
| minimum net lot area | 9,000 sf .2066 ac |
| minimum lot width (at front of building) | 75 ft |
| minimum setback from street (or existing building line) | 30 ft |
| sideyard setbacks (main house) | |
| minimum sideyard | 8 ft |
| sum of 2 sideyards | 25 ft |
| minimum rear yard | 25 ft |
| maximum building height (1) (main bldg: mean-30 ft to highest pt., 35 ft) | 30-35 ft |
| maximum building coverage | 30% |
| max. units/acre (for multiple lot areas) | 4.84 |

Open Space/Green Area:

none

Parking:

2 off-street spaces/dwelling unit

Notes

1. Building height may be increased to 3 floors or 40 feet by Planning Board
2. Resubdivisions may allow lots 50 ft wide and 5,000 sf net lot areas
3. Refer to complete regulations in Montgomery County Zoning Code

Images



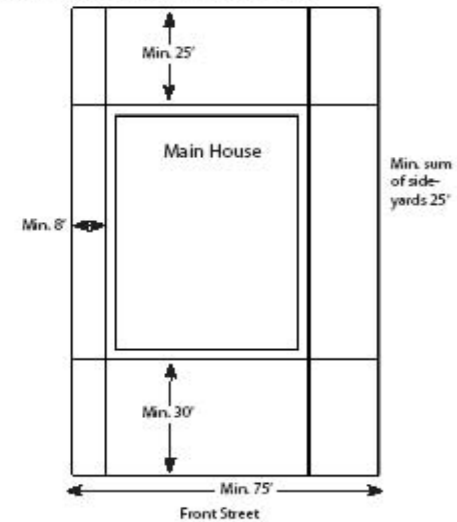
R-90 Typical Build Out Plan Pattern and Form
Silver Spring at Kerwin Road and Cyprus Place



Existing neighborhood in an R-90 zone

R-90 Zone: Standard Method of Development

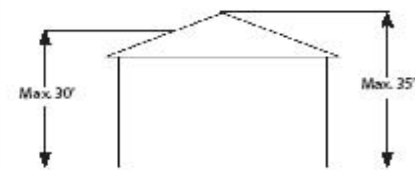
Required Lot Size, Setback and Coverage



| | | | |
|------------------------|----------|------------|-----------------|
| Min. Lot Size | 9,000 sf | Yields max | 4.84 units/acre |
| Max. Building Coverage | 30% | Yields | 2,700 sf/Floor |
| Max. Building Height | 30 ft | Yields | 2.5 Floors |

Side Section of Structure (Main House)

Height max. 35 ft. to highest roof point or,
Height Max. 30 ft measured to mid-pt. of gable,
hip, mansard, or gambrel roof



Max. Bldg. Height and Floors

County

RE-2

Formerly called the R-A Zone, the RE-2 Zone has been around for decades to allow residential homes in the more agricultural or rural areas of the County. At only 0.5 du/ac, the RE-2 Zone generally establishes larger homes in an open, sprawling land use pattern.

Requirements

| | |
|---|----------------------|
| minimum net lot area | 87,120 sf 2 acres |
| minimum lot width (at front of building) | 150 ft |
| minimum setback from street (interior lot) | 50 ft |
| sideyard setbacks (main house) | |
| minimum sideyard | 17 ft |
| sum of 2 sideyards | 35 ft |
| minimum rear yard | 35 ft |

maximum building height (1)

50

maximum building coverage

30%

max. units/acre
(for multiple lot areas)

.5

Open Space/Green Area:

none

Parking:

2 off-street parking spaces/dwelling unit

Notes

1. Except agricultural buildings
2. This zone adopts the development standards of the prior zone if the lot was recorded, by plat or deed, before 3/16/82
3. Refer to complete regulations in the Montgomery county Zoning Code

Images



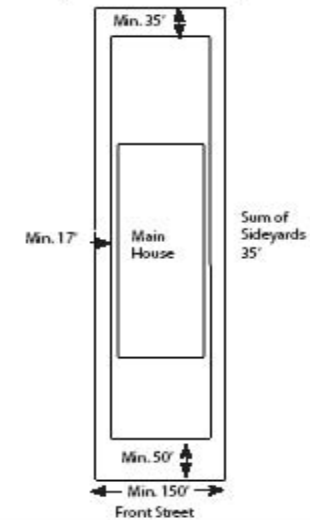
RE-2 Typical Build Out Plan Pattern and Form
North Potomac at Stonebarn Lane and Squires Court



Existing RE-2 Zones

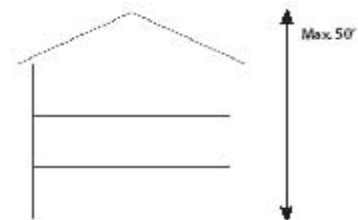
RE-2 Zone: Standard Method of Development

Required Lot Size, Setback and Coverage



| | | | |
|------------------------|-----------|------------|-----------------|
| Min. Lot Size | 87,120 sf | Yields max | .5 units/acre |
| Max. Building Coverage | 30% | Yields | 26,136 sf/Floor |
| Max. Building Height | 50 ft | Yields | 3.5 Floors |

Side Section of Structure (Main House)



Max. Bldg. Height and Floors

CBD-1-Optional Method

The CBD Zones provide a well-functioning, compact urban environment near transit centers and foster a variety of land uses designed at a pedestrian scale. The CBD-1 Zone is positioned inside the edge of urban districts at locations not appropriate for high density and promotes businesses and living accommodations in low-to medium-scale building arrangements that complement the more dense core of the district.

Requirements

| | |
|----------------------|-----------|
| Minimum lot size (1) | 18,000 sf |
|----------------------|-----------|

Density

| | |
|-----------------------------|---------|
| Max residential units/acre | 125 |
| Max FAR for non-residential | 2.0 |
| Max FAR for mixed (2) | 3.0 |
| Max Building Height (3) | 60 feet |

Open Space/Green Area

| | |
|--------------------------|------------|
| Minimum public use space | 20% of lot |
|--------------------------|------------|

Notes

1. May be less when recommended in master or sector plan
2. Non-residential FAR may not exceed 2.0
3. Planning Board can approve up to 90 feet and up to 143 feet to accommodate workforce housing
4. Refer to complete regulations in Montgomery County Zoning Code

Images



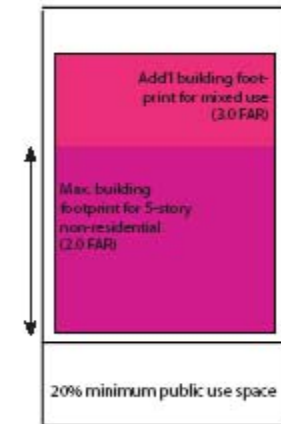
CBD-1 Optional Method Typical Build-Out Plan Pattern and Form
Fenton Street and Wayne Avenue, Silver Spring



Existing development in a CBD-1 Optional Method zone

CBD-1 Zone: Optional Method of Development

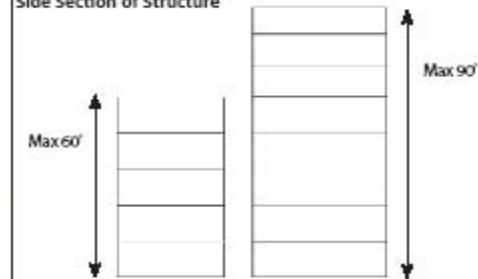
Building Footprint and Public Use Space within CBD



Front Street

| | | | |
|-------------------------|-------|--------|----------|
| Max. Building Height | 60 ft | yields | 5 floors |
| Planning Board Approval | 90 ft | yields | 8 floors |

Side Section of Structure



Maximum Building Height and Floors

CBD-2-Optional Method

The CBD Zones provide a well-functioning, compact urban environment near transit centers and foster a variety of land uses designed at a pedestrian scale. The CBD-2 Zone is positioned inside or near the core of the urban district and provides a transition to the less dense periphery. The CBD-2 Zone offers incentives for development that includes housing that can serve those employed in the area or who commute by public transportation.

Requirements

| | |
|----------------------|-----------|
| Minimum lot size (1) | 18,000 sf |
|----------------------|-----------|

Density:

| | |
|------------------------------|----------|
| Max. residential units/acre | 200 |
| Max. FAR for non-residential | 4.0 |
| Max. FAR for mixed (2) | 5.0 |
| Max. Building Height (3) | 143 feet |

Open Space/Green Area

| | |
|--------------------------|------------|
| Minimum public use space | 20% of lot |
|--------------------------|------------|

Notes

1. May be less when recommended in master or sector plan
2. Non-residential FAR may not exceed 3.0
3. Planning Board can approve up to 200 feet
4. Refer to complete regulations in Montgomery County Zoning Code

Images



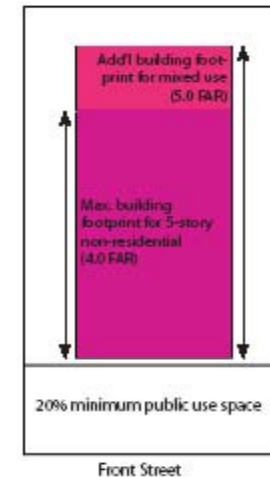
CBD-2 Optional Method Typical Build Out Plan Pattern and Form Old Georgetown Road and Woodmont Avenue, Bethesda



Existing development in an CBD-2 Optional Method zone

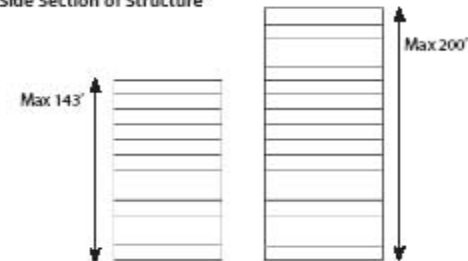
CBD-2 Zone: Optional Method of Development

Building Footprint and Public Use Space within CBD



| | | | |
|-------------------------|--------|--------|-----------|
| Max. Building Height | 143 ft | yields | 12 floors |
| Planning Board Approval | 200 ft | yields | 17 floors |

Side Section of Structure



Maximum Building Height and Floors

I-1

The I-1 Zone promotes light industrial activity - such as the manufacturing of wood products or medical equipment. Although the typical build-out results in a building form of less than 3 stories, the zone provides a range of options for building typology allowing up to 10 stories in height.

Requirements

| | |
|--|---|
| Minimum lot size | None |
| Minimum setback from street: | |
| r.o.w. established in master plan | 10 feet |
| No r.o.w. in master plan | 60 feet from centerline |
| Minimum sideyard setbacks: | |
| Generally | None |
| Adjoining residential zone | Equal to adjoining res. zone or not less than 10' |
| Max. height, generally | 42 feet (3 stories) |
| Max. height, large employment center | 120 feet (10 stories) |
| Parking | |
| Industrial, manufacturing establishments, or warehouse | 1.5 spaces for each 1,000 sq ft of total floor area plus loading area |
| Minimum Green Area | |
| Generally | 10% of lot |
| Large employment center | Increase by 5% of net lot area for each story over 3 |
| Notes | |
| 1. | For large employment centers, setback from residential lot must equal half the height of the building |
| 2. | Refer to complete regulations in Montgomery County Zoning Code |

Images



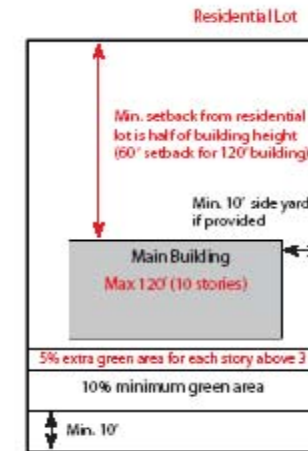
I-1 Typical Build Out Plan Pattern and Form



Existing development in a I-1 zone

I-2 Zone: Standard Method of Development

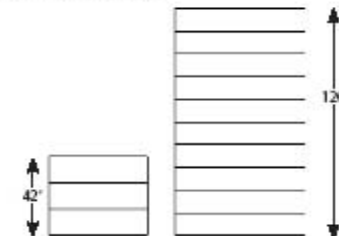
Required Setback and Green Area



Front Street
Red denotes add'l requirements for large employment centers

| | | | |
|-------------------------|--------|--------|-----------|
| Max. Building Height | 42 ft | Yields | 3 Floors |
| Large Employment Center | 120 ft | Yields | 10 Floors |

Side Section of Structure



Maximum Building Height and Floors

I-2

Build-out of the I-2 zone typically occurs on larger lots to allow for heavy industrial activity to occur within an industrial complex on a single site. Because truck volume increases with heavy industry, the I-2 zone is normally found near major highway systems.

Requirements

| | |
|---|---|
| Minimum lot size | No requirement |
| <i>Minimum setback from street:</i> | |
| r.o.w. established in master plan | 10 feet |
| No r.o.w. in master plan | 60 feet from centerline |
| <i>Minimum sideyard setbacks:</i> | |
| Generally | None |
| Adjoins residential zone | Equal to adjoining res. zone or not less than 10' |
| Maximum height | 70 feet (5 stories) |
| <i>Parking (example)</i> | |
| Industrial, manufacturing establishments, or warehouse | 1.5 spaces for each 1,000 sq ft of total floor area plus loading area |
| <i>Open Space/Green Area</i> | |
| Minimum green area | 10% of lot |
| <i>Notes</i> | |
| 1. Refer to complete regulations in Montgomery County Zoning Code | |

Images



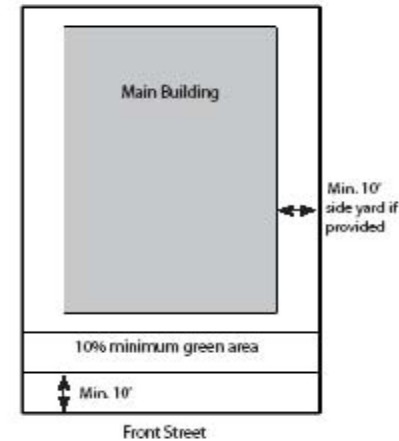
I-2 Typical Build Out Plan Pattern and Form



Existing development in an I-2 zone

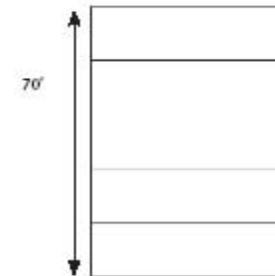
I-2 Zone: Standard Method of Development

Required Setback and Green Area



| | | | |
|----------------------|-------|--------|----------|
| Max. Building Height | 70 ft | Yields | 5 Floors |
|----------------------|-------|--------|----------|

Side Section of Structure



Maximum Bldg. Height and Floors

Special Exceptions

A special exception is a use allowed in a zone that must meet additional standards, both general to all special exceptions and those that are specific to a use. Additionally, approval includes participation in the public hearing process and demonstration by the applicant that all applicable requirements are met. Each of the following 98 special exception in the Code will be reviewed and analyzed to make sure that standards and uses are current.

List of Special Exceptions

| | |
|--|---|
| Abattoir | Bed-and-breakfast lodging |
| Accessory Apartment | Blacksmith |
| Accessory Dwelling | Boardinghouse |
| Airstrip associated with a farm | Cable communication system |
| Amateur radio facility | Campground |
| Ambulance or rescue squad, privately supported, non-profit | Car wash |
| Animal boarding place | Catering facility, outdoors |
| Animal cemeteries | Cemetery and family burial site |
| Antique shop | Chancery and international organization |
| Art or cultural centers | Charitable and philanthropic institution |
| Auction facility | Child day care facility |
| Automobile filling stations | Clinic, medical or dental |
| Automobile, light truck and light trailer rentals, outdoor | Combination retail store |
| Automobile storage lots | Conference center with lodging |
| Automobile, truck and trailer rentals, outdoor | Country market |
| | Day care facility for senior adults and persons with disabilities |
| | Dwellings |
| | Drive-in restaurants |
| | Eating and drinking establishment in the O-M Zone |
| | Educational institution, private |
| | Electric power transmission/distribution lines |
| | Equestrian facility in an agricultural zone |
| | Equestrian facility in a residential zone |
| | Family burial site |
| | Farm machinery, sales, storage or service |
| | Farm supply, sales, storage or service |
| | Farm tenant mobile home |

Fertilizer mixing plants
Funeral parlor or undertaking establishment

Golf course, country club, and private club
Golf course in the RDT zone
Golf driving range
Grain elevator (P if accessory to a farm)
Group home, large
Group picnic, catering and recreational facility

Heliport and helistop
Highway fuel and food service
Home occupation, major
Hospice care facility
Hospital
Hospital, veterinary
Hotels and motels
Housing and related facilities for senior adults and persons with disabilities

Landscape contractor
Life care (continuing care) facility

Manufacture of mulch and composting
Medical practitioner's office for use by other than a resident of the dwelling (50% must be in residential use by an occupant)
Meeting centers
Milk Plant (P if accessory to a farm)

Nursery, horticultural retail
Nursery, horticultural wholesale

Nursing home and domiciliary care homes

Offices, general
Offices, professional, nonresidential

Parking facilities, off-street, at locations 500' + from entrance of nonresidential establishment to be served
Parking of automobiles, off-street, in an industrial zone, in connection with any use permitted in a commercial zone
Personal living quarters
Pet shops
Pipeline, above ground
Private club and service organization
Public utility buildings and structures

Radio and television broadcasting stations and towers
Recreational or entertainment establishments, commercial
Retail and service establishments
Retail establishments in a multiple family dwelling
Retail establishment in an office building
Rifle or pistol ranges, indoor
Rifle, pistol and skeet shooting ranges, outdoor
Rock or stone quarries

Sand, gravel or clay pits
Sanitarium (See hospital)
Sawmills
Secondary agricultural processing, not otherwise specified
Solid waste transfer station, sanitary landfill, or incinerator
Swimming pools, commercial
Swimming pools, community

Teahouse and restaurants in residential zones (no longer allowed)

Telecommunications facility

Theaters, indoor

Theater, legitimate

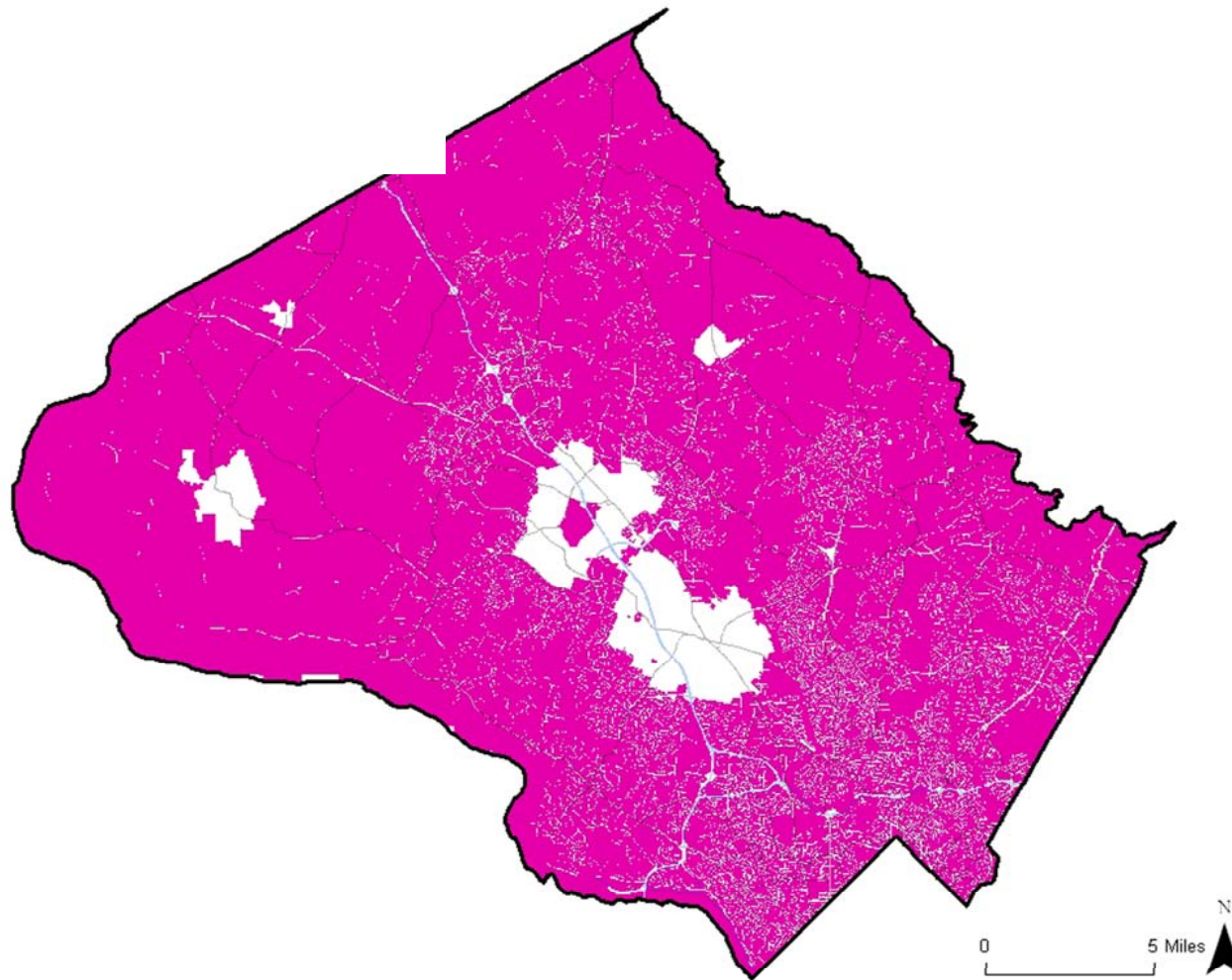
Tire, battery, and accessory stores

Winery

Mapped Zones

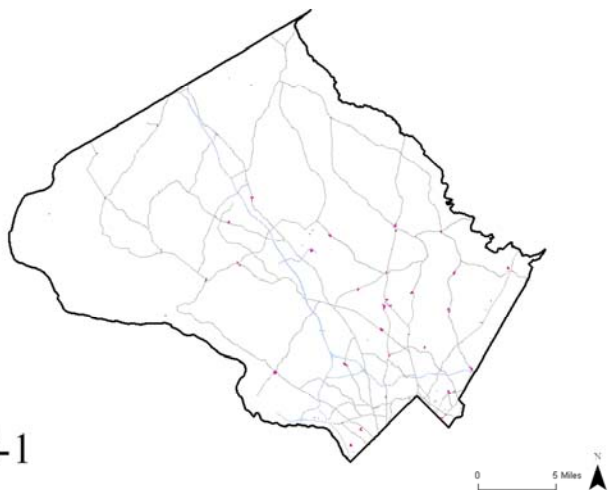
Geographic Information Systems (GIS) technology gives us the ability to locate on County-based maps, all of the land zoned in each of the 119 zones. The following maps show the distribution and location of land zoned in each zoning category

All zoned land in Montgomery County

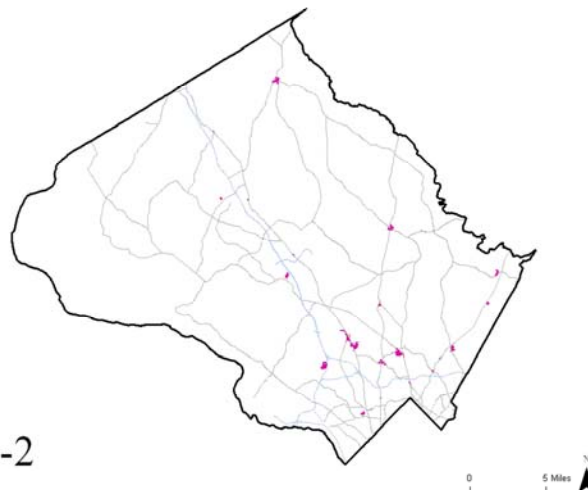


Maps show the distribution and location of land in each zone.

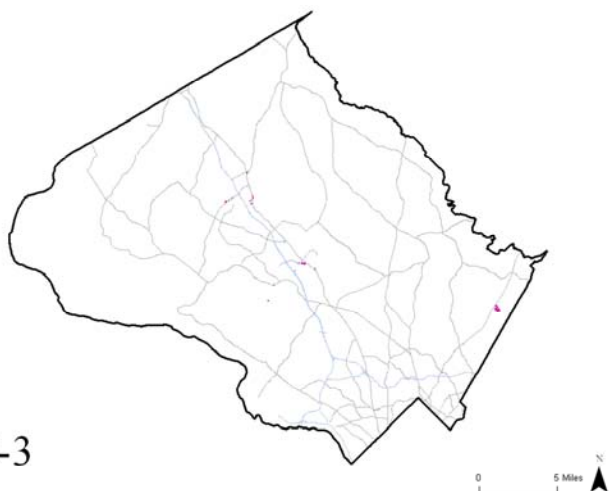
C-1



C-2



C-3

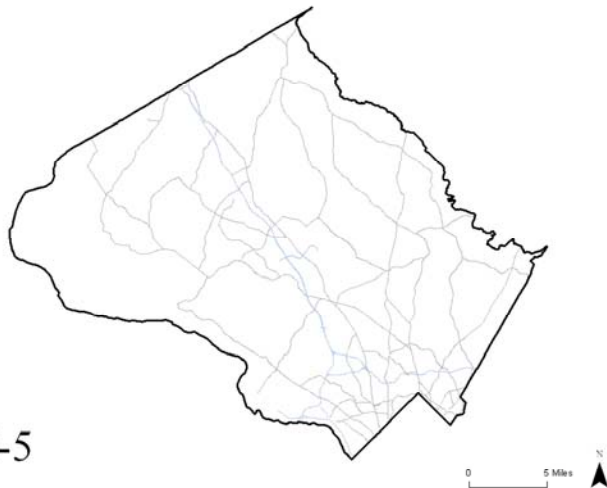


C-4

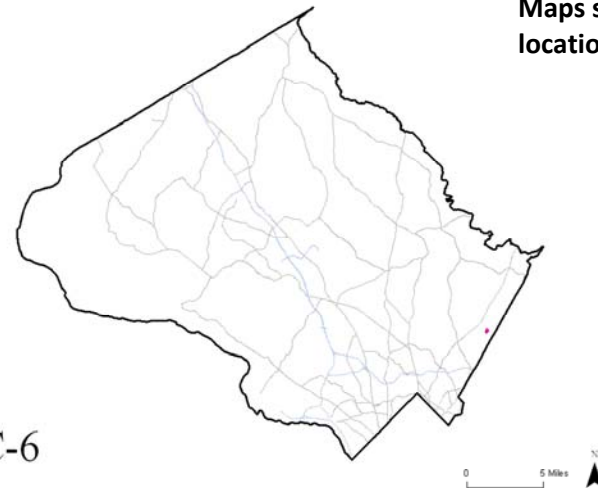


Maps show the distribution and location of land in each zone.

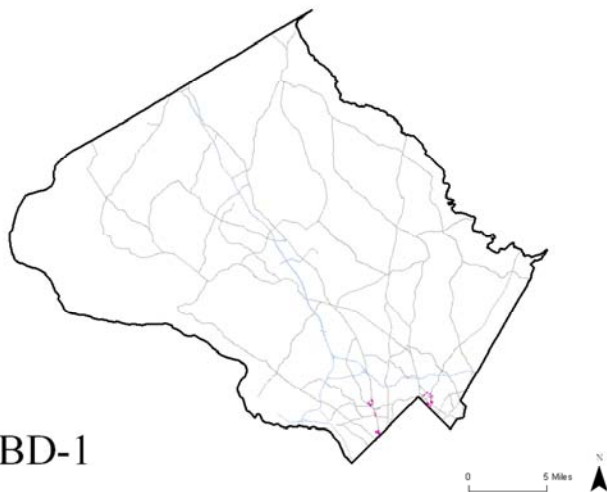
C-5



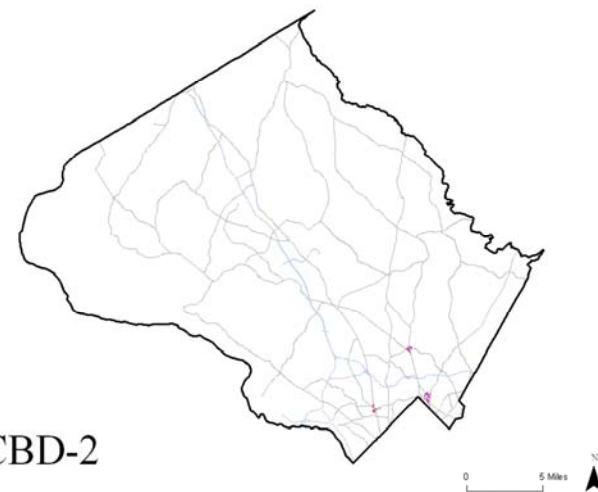
C-6



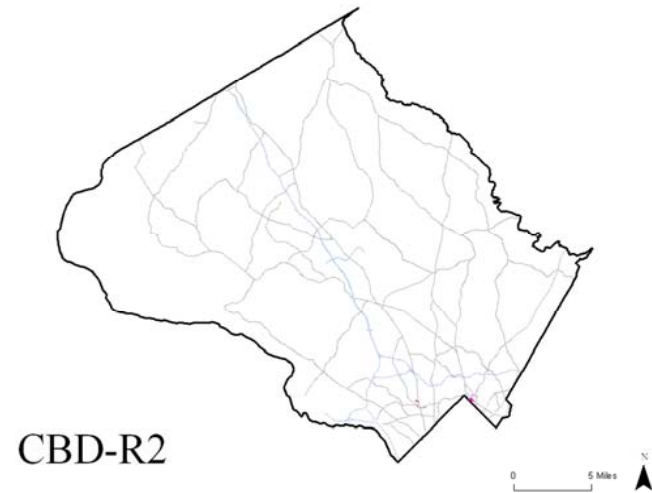
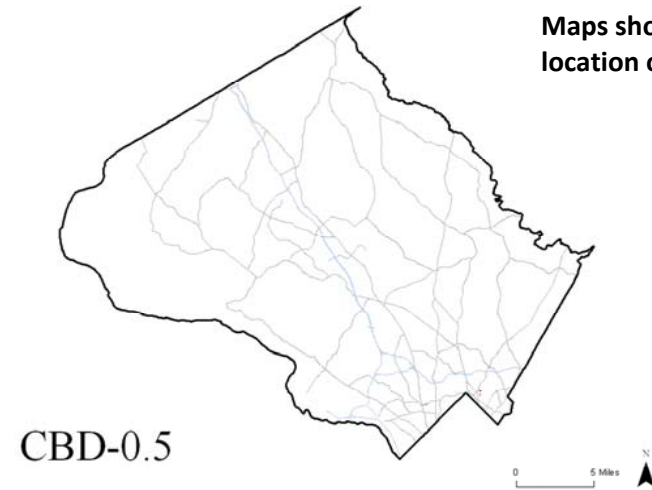
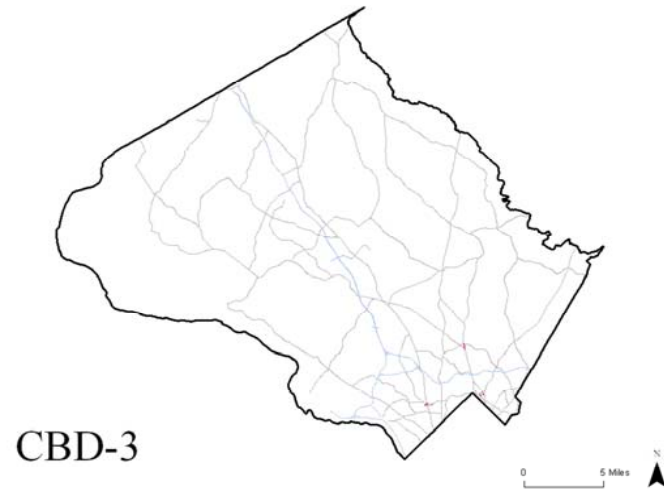
CBD-1



CBD-2

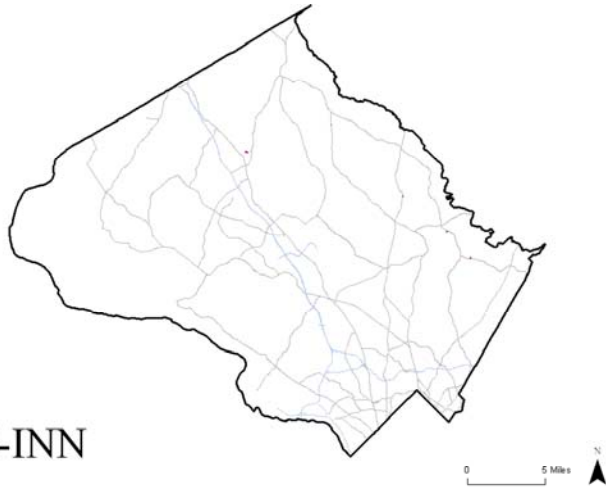


Maps show the distribution and location of land in each zone.

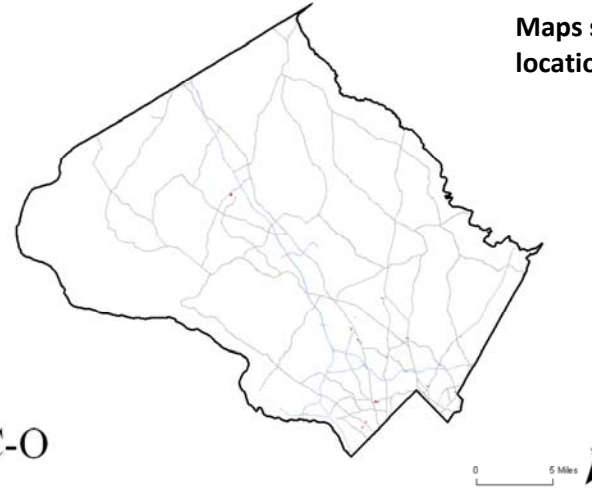


Maps show the distribution and location of land in each zone.

C-INN



C-O



C-P

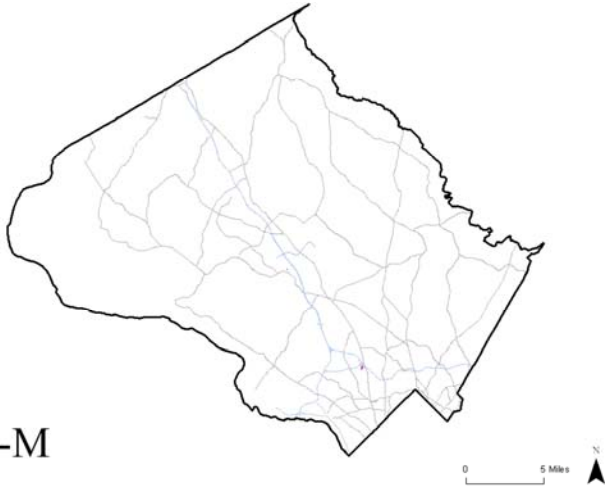


C-T

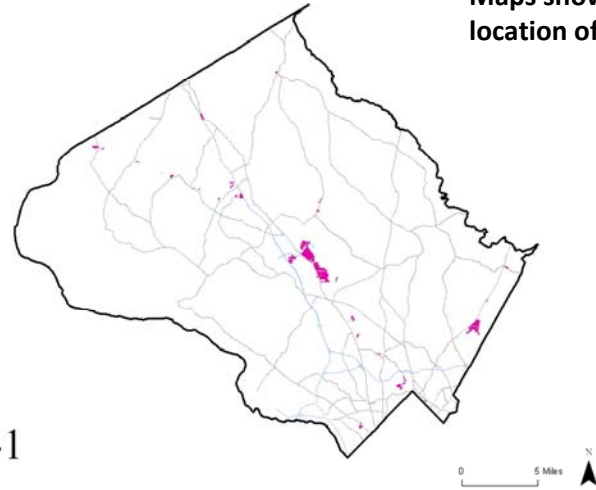


Maps show the distribution and location of land in each zone.

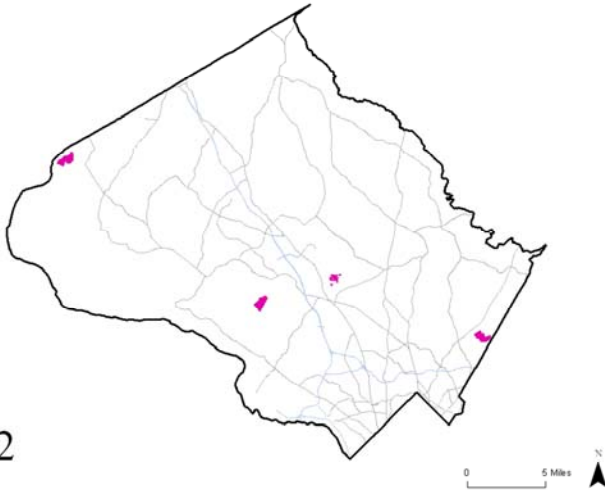
H-M



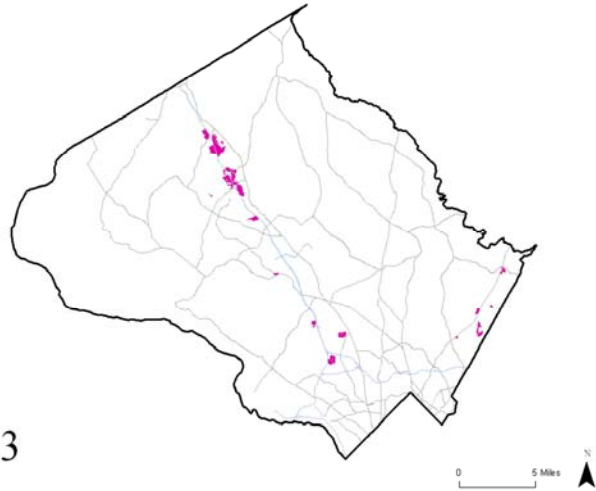
I-1



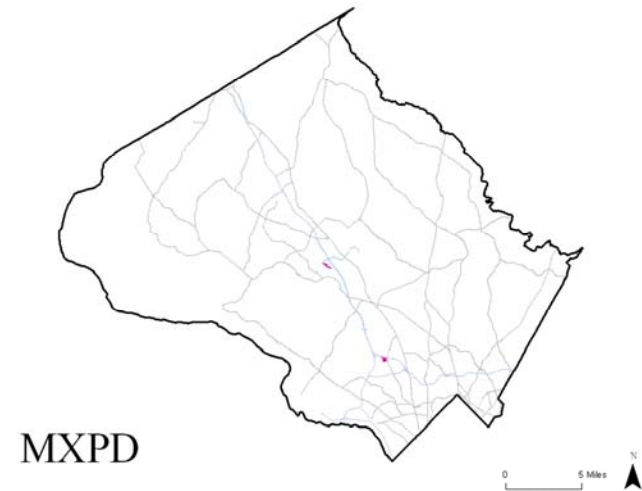
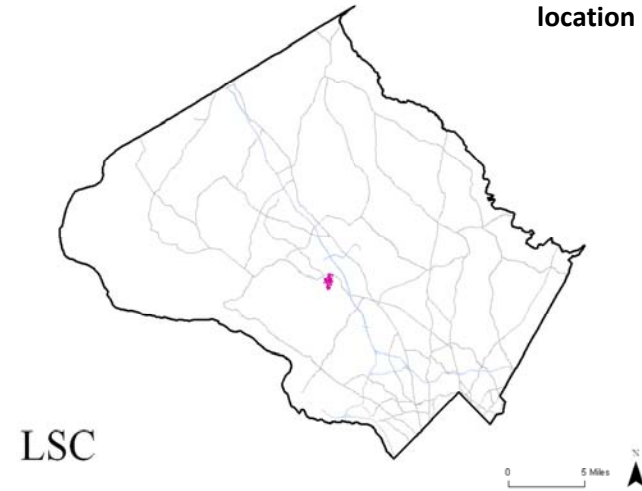
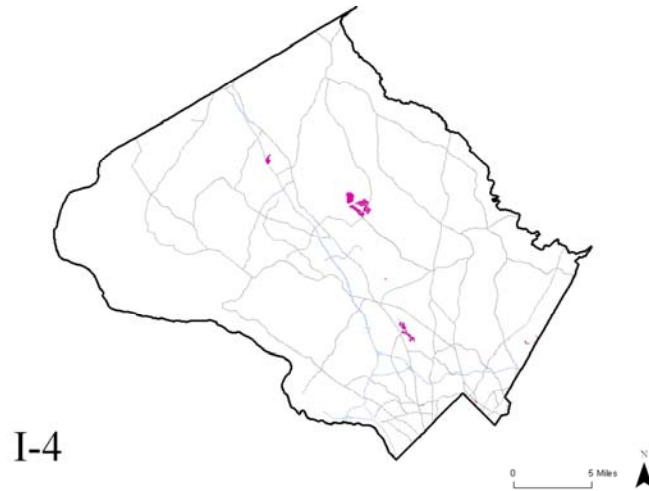
I-2



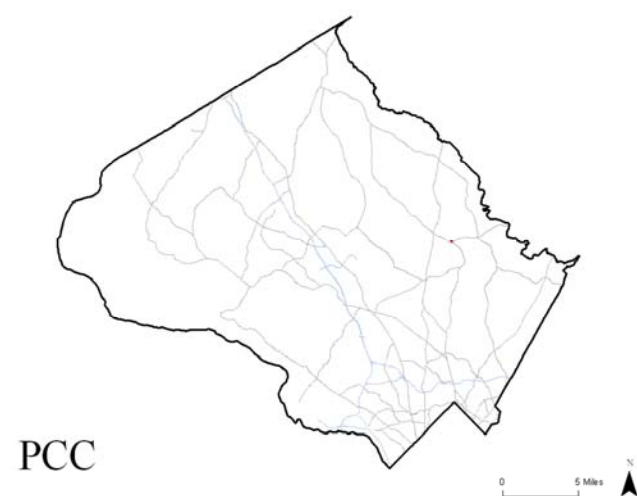
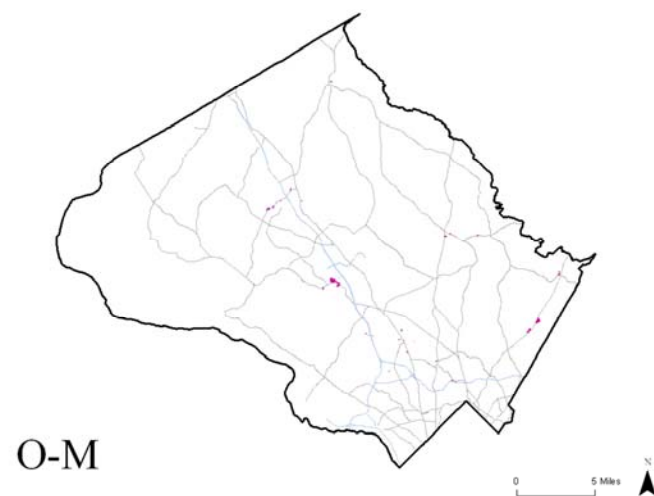
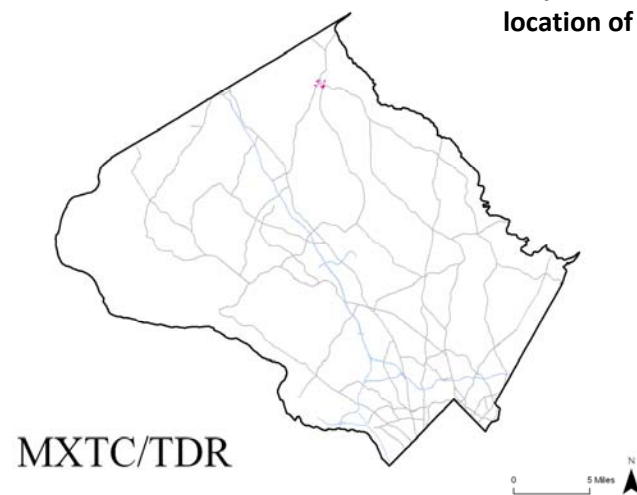
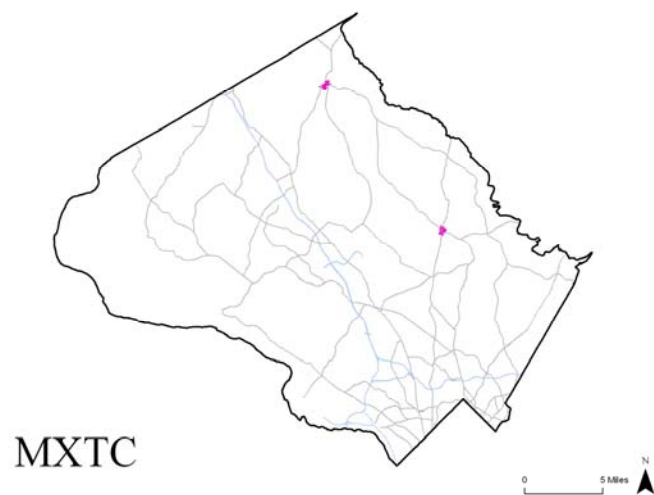
I-3



Maps show the distribution and location of land in each zone.

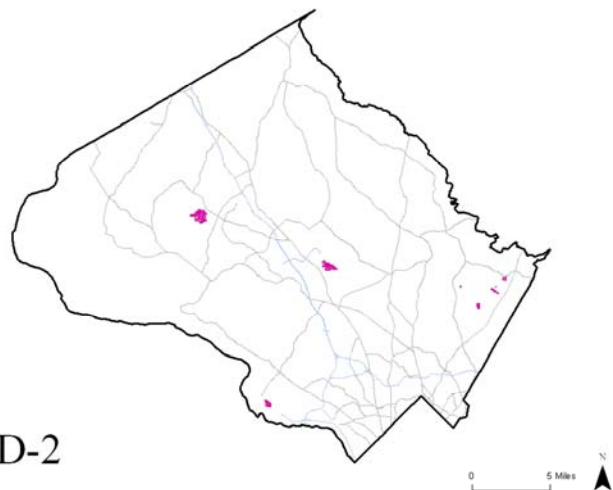


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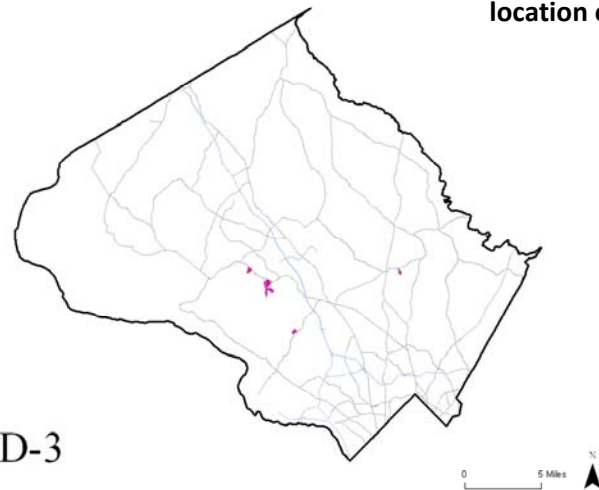


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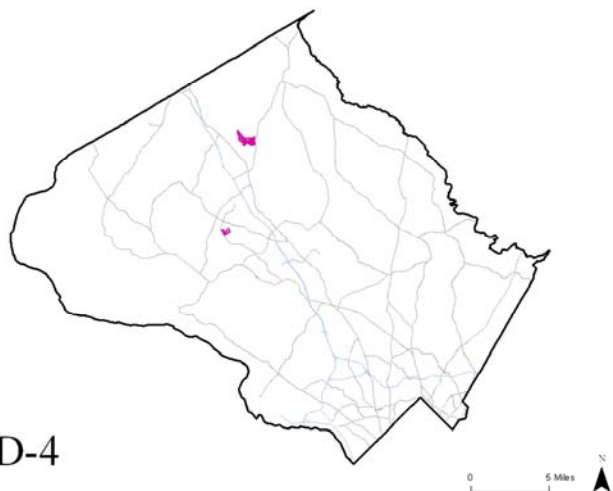
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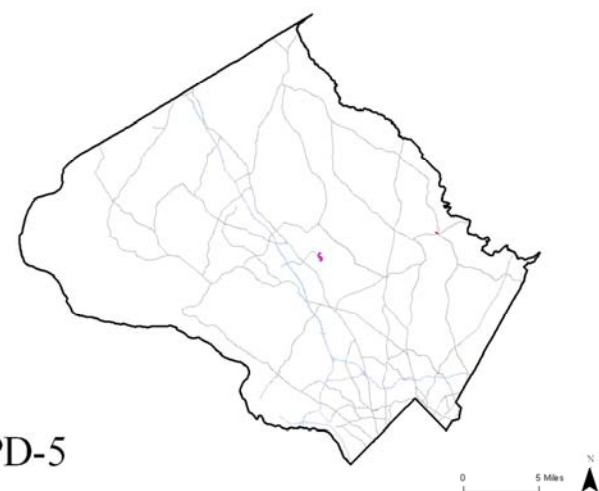
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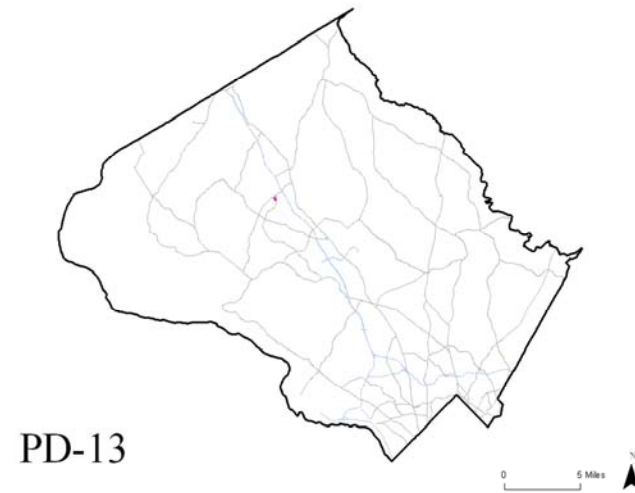
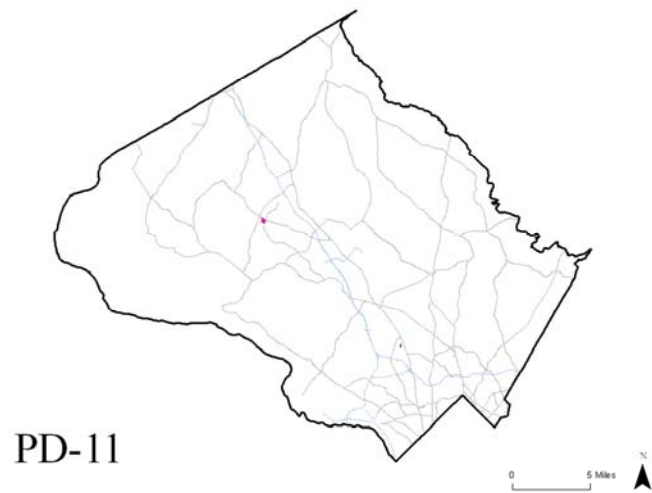
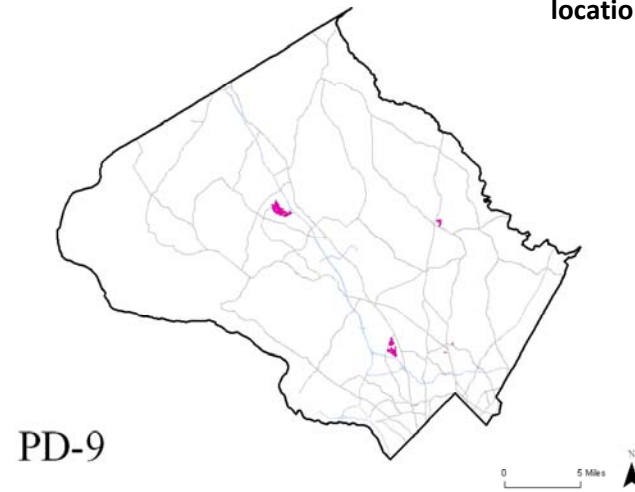
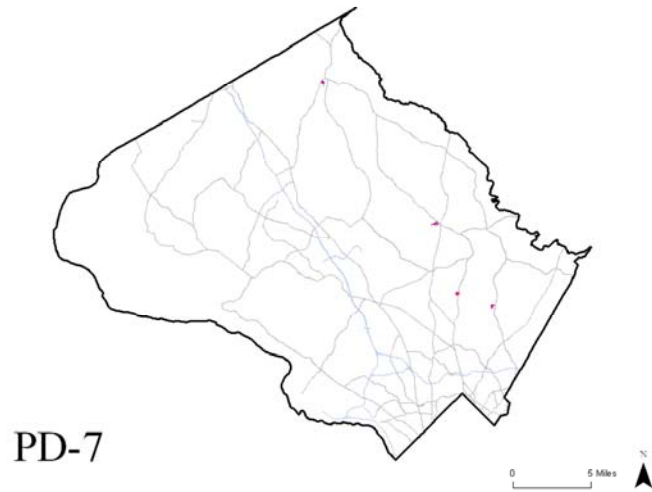
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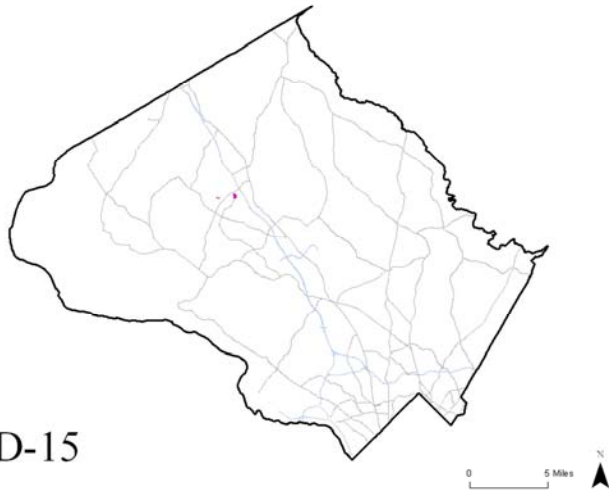


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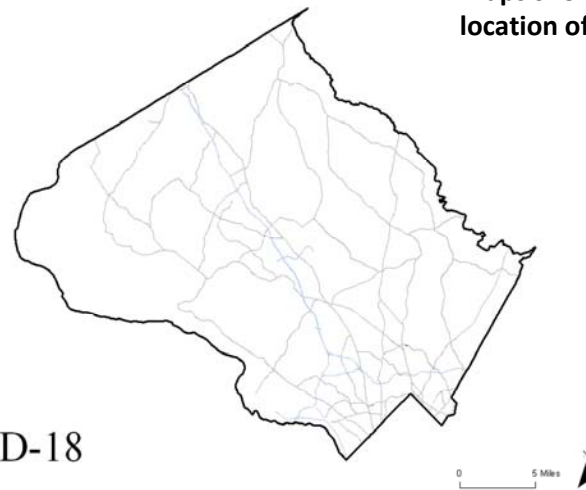


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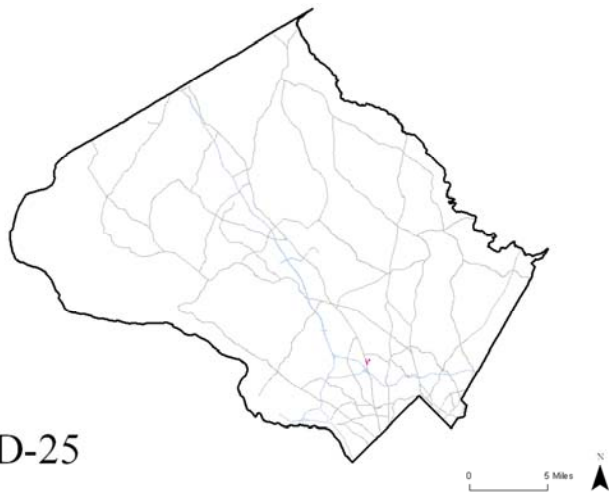
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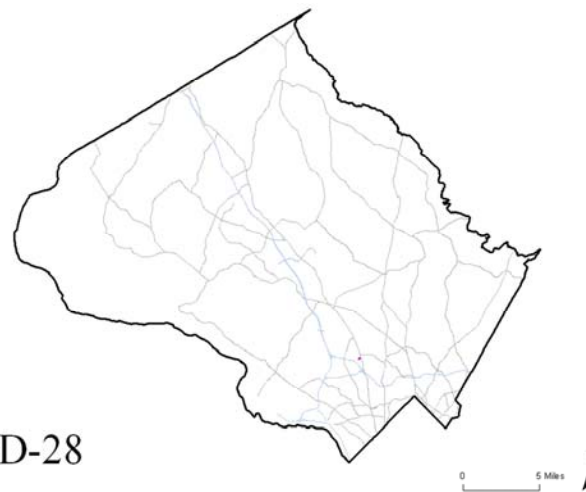
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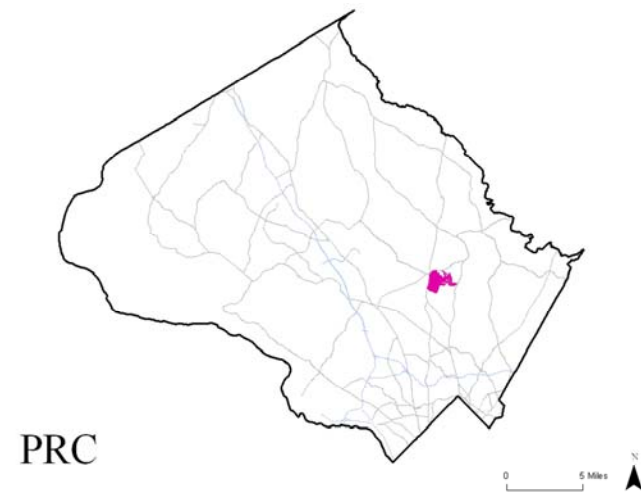
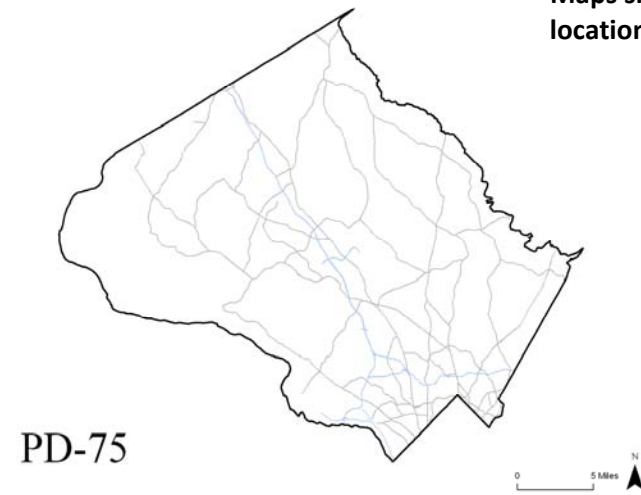
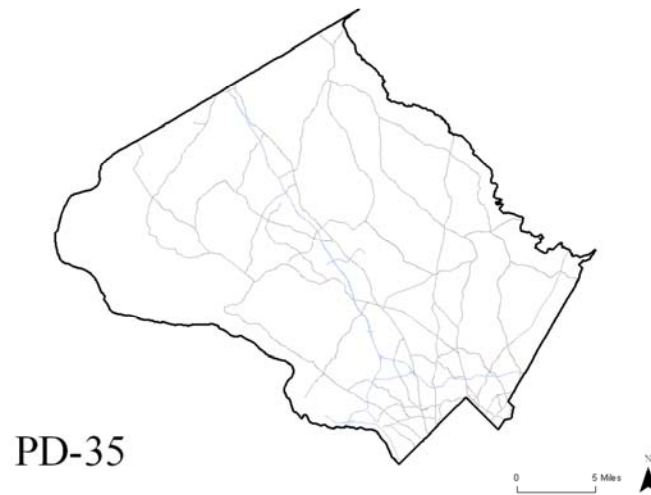
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PD-28

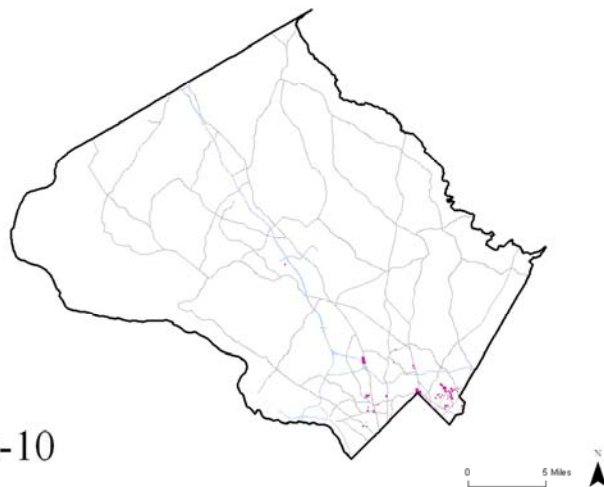


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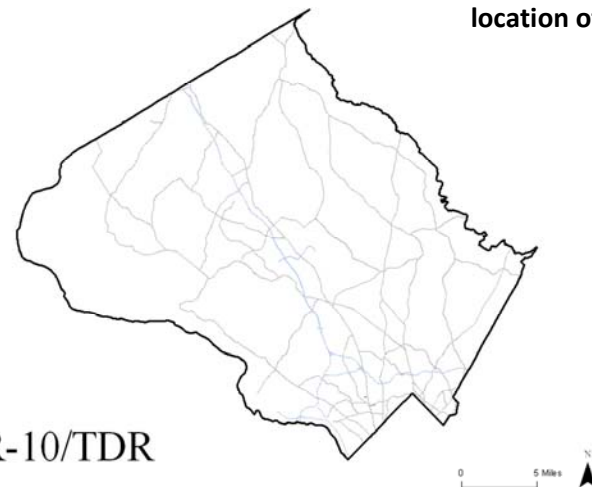


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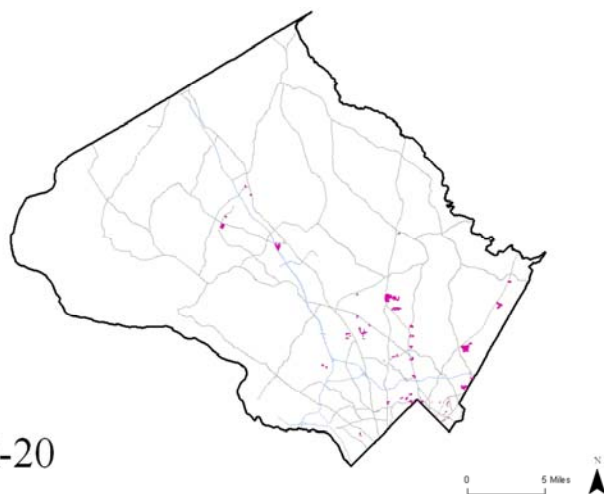
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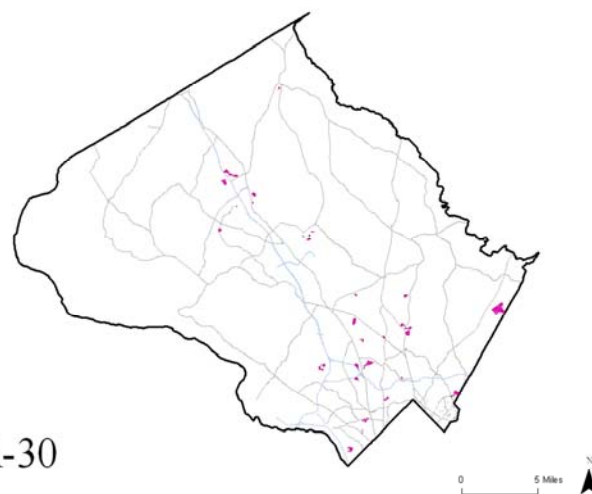
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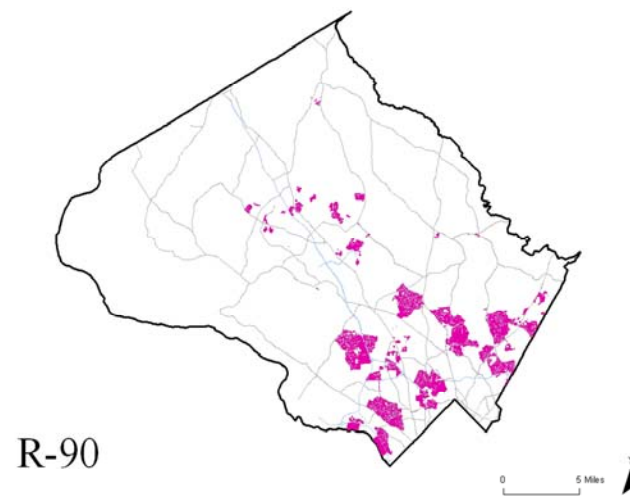
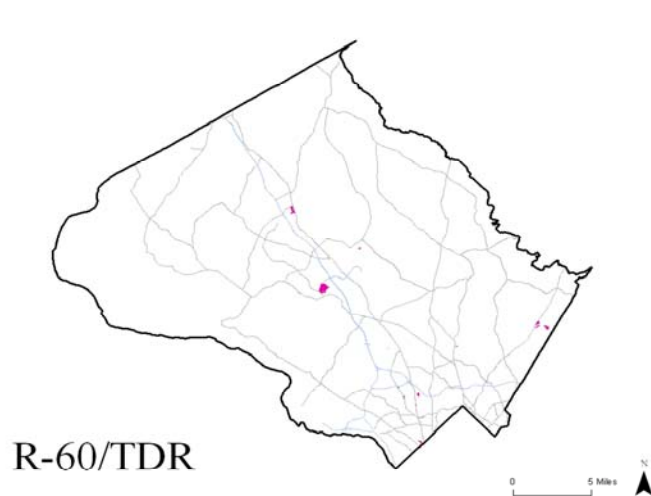
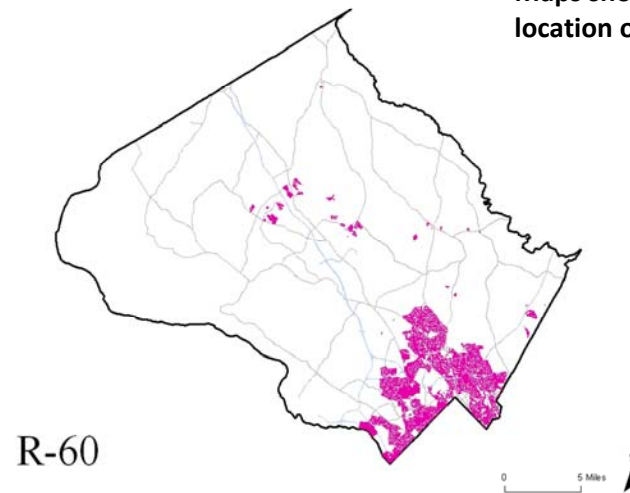
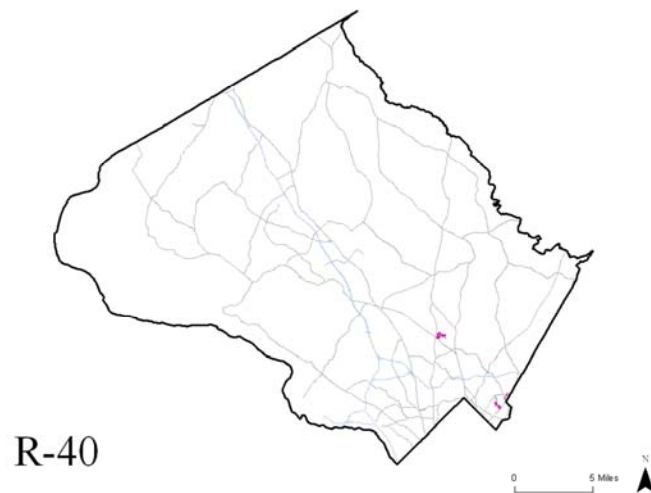
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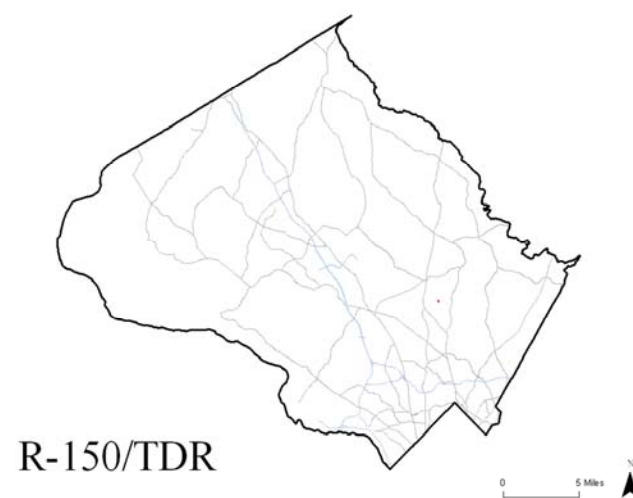
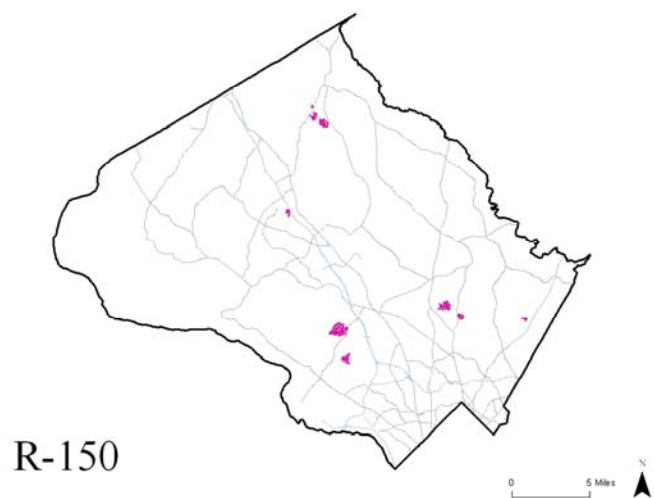
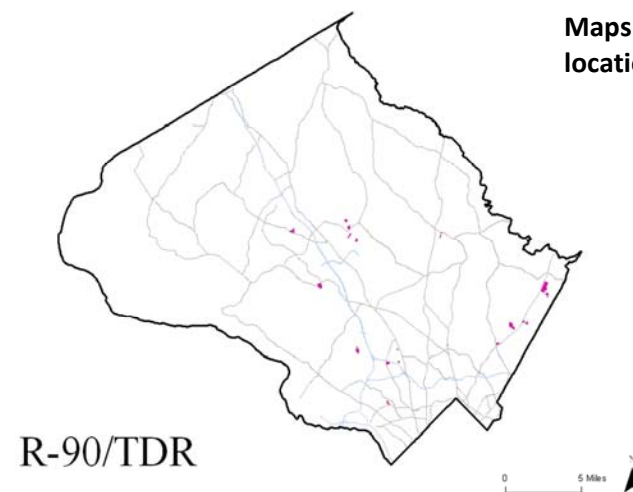
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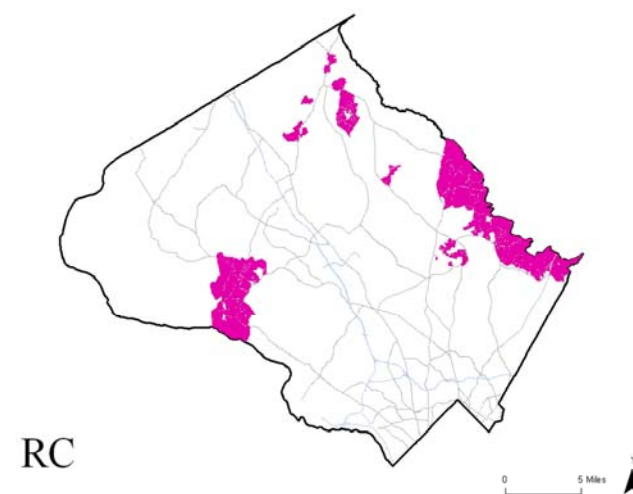
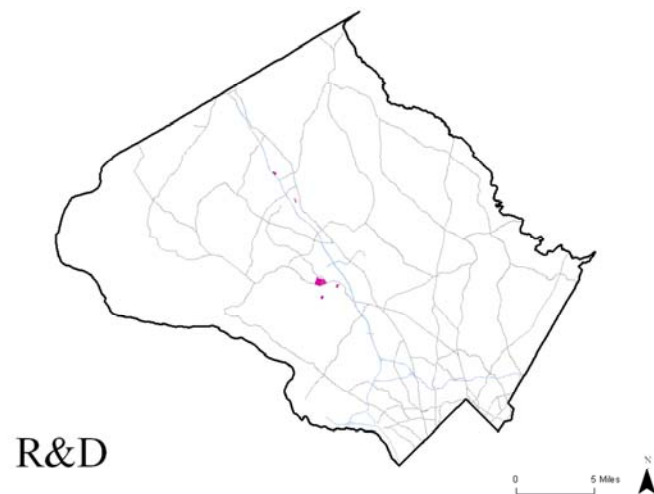
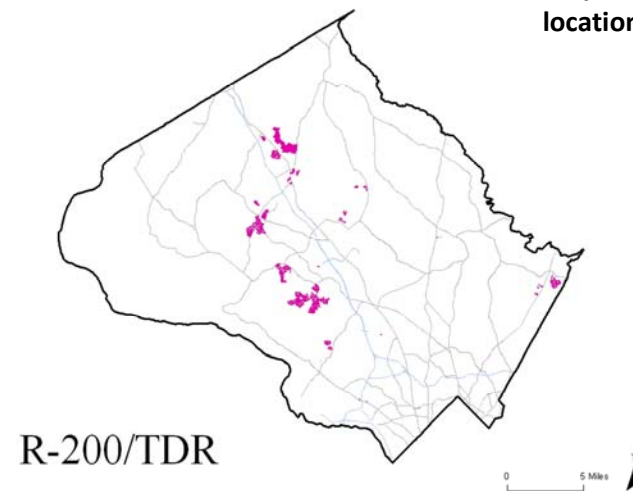
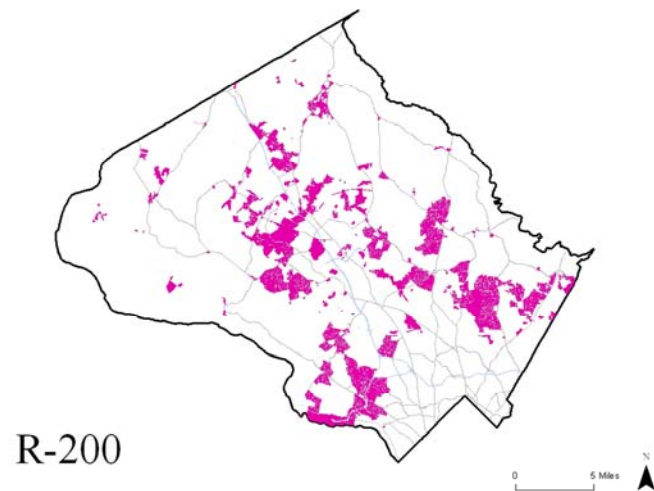
Maps show the distribution and location of land in each zone.



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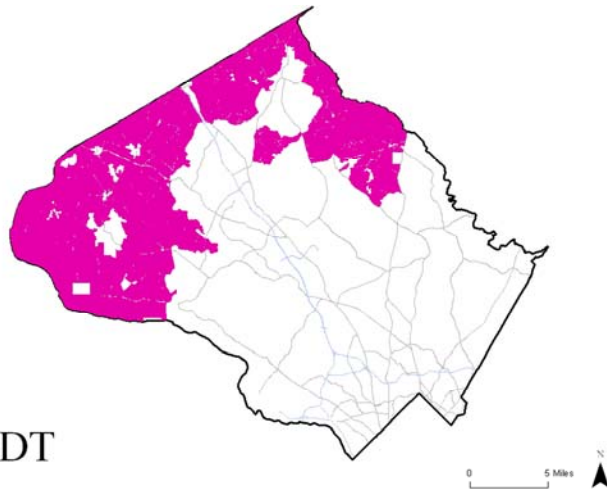


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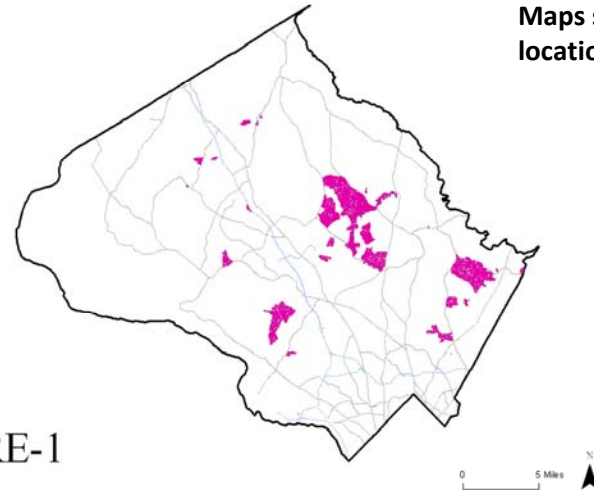


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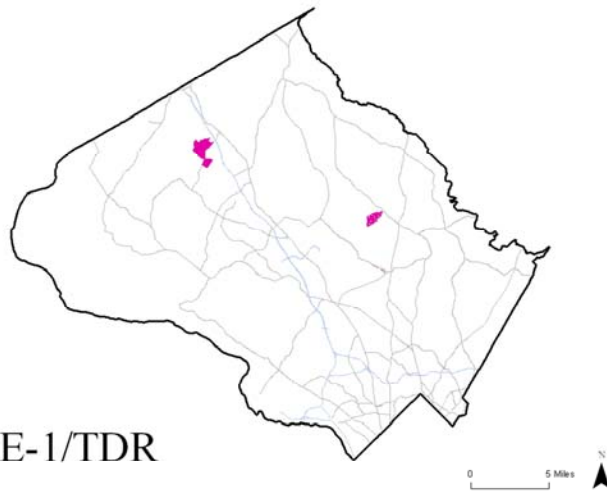
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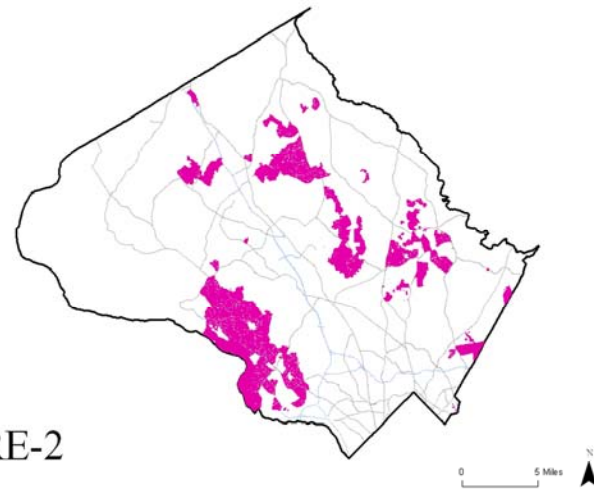
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RE-1/TDR

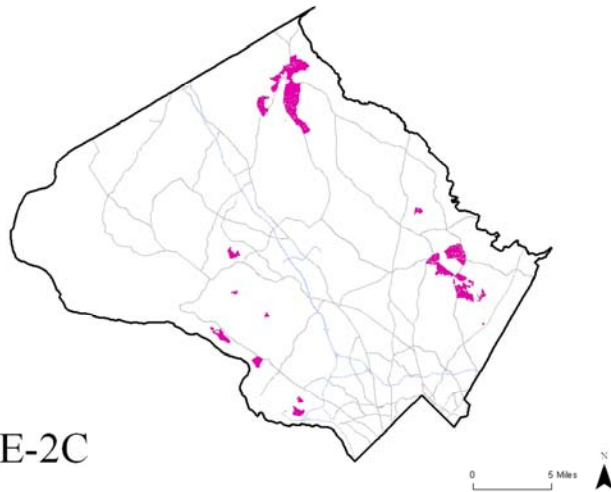


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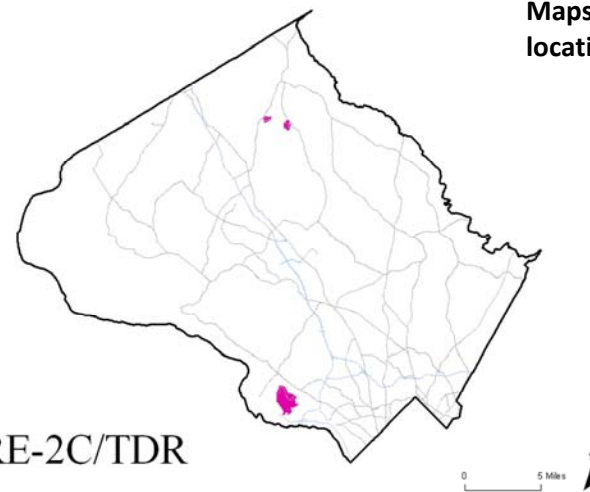


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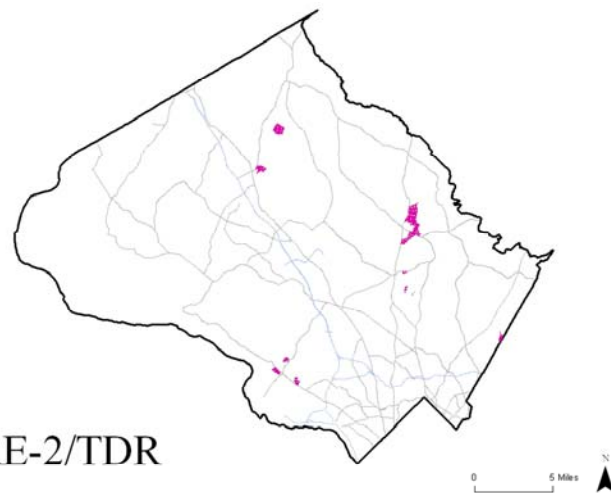
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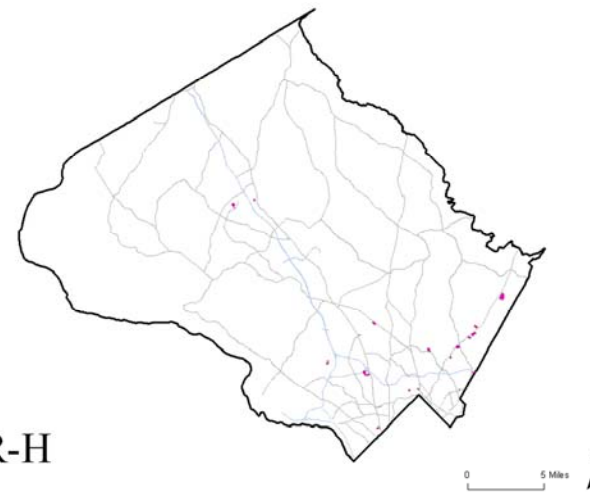
RE-2C/TDR



RE-2/TDR

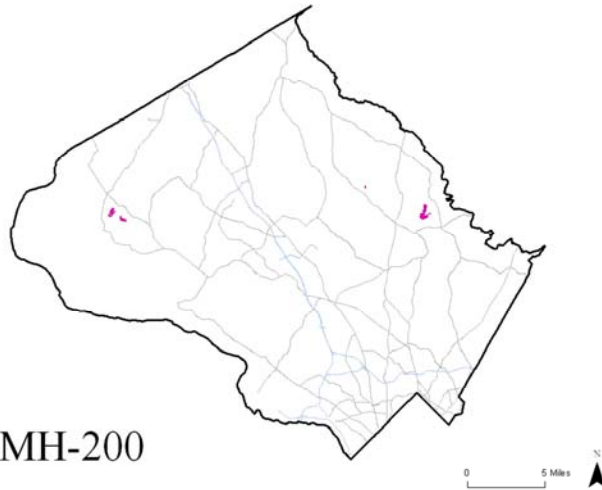


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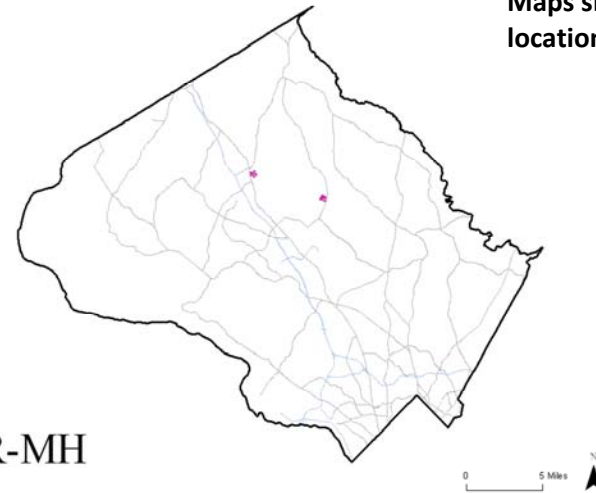


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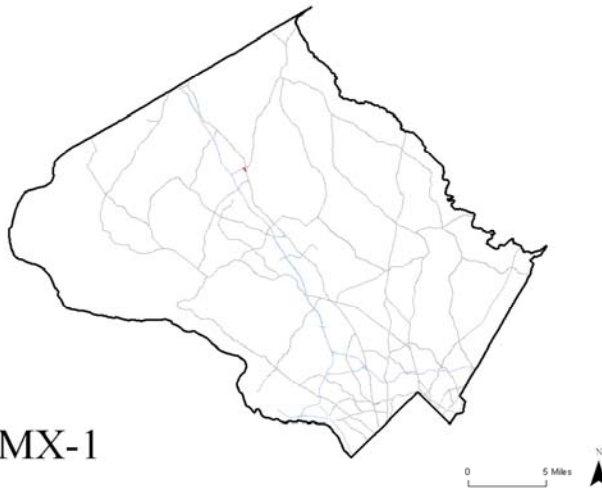
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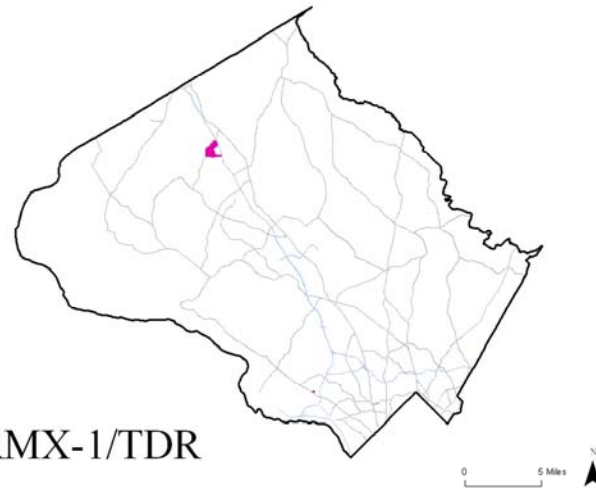
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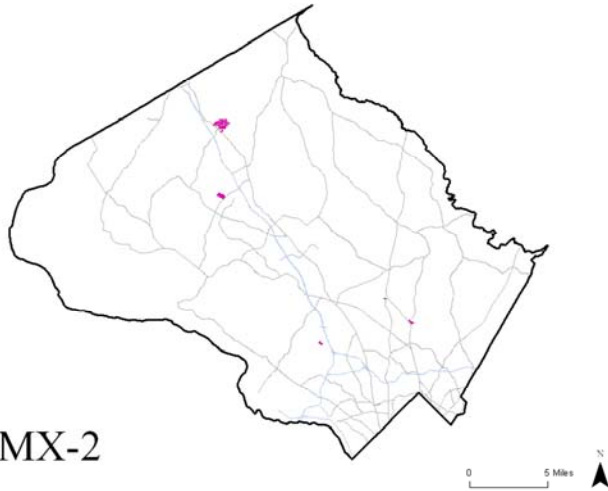


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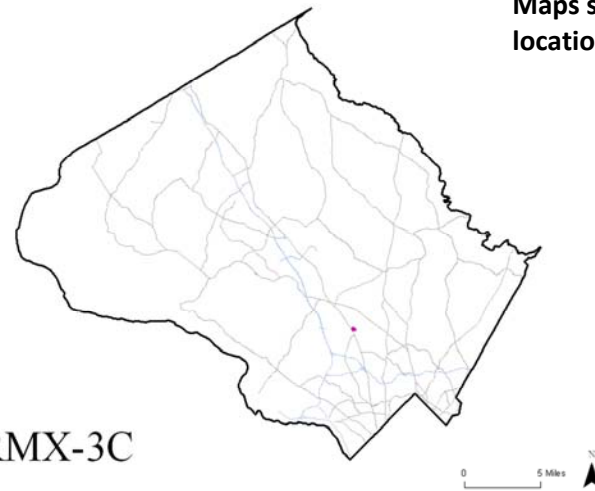


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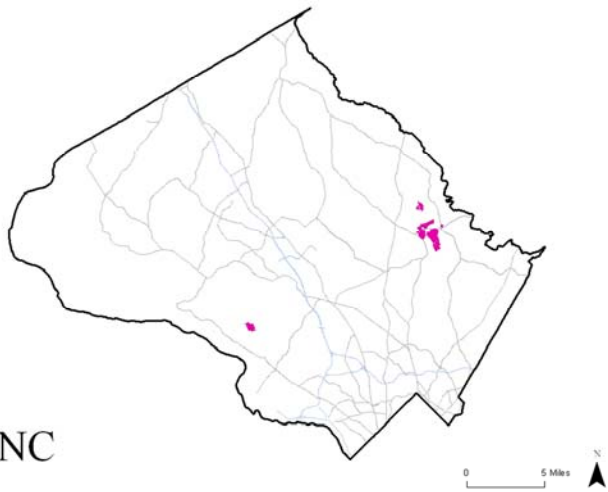
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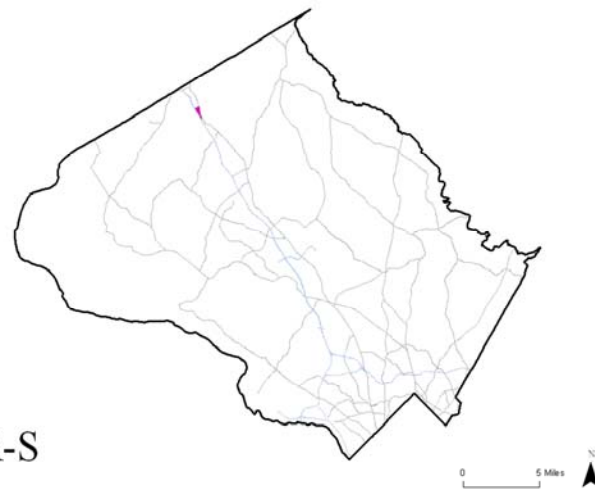
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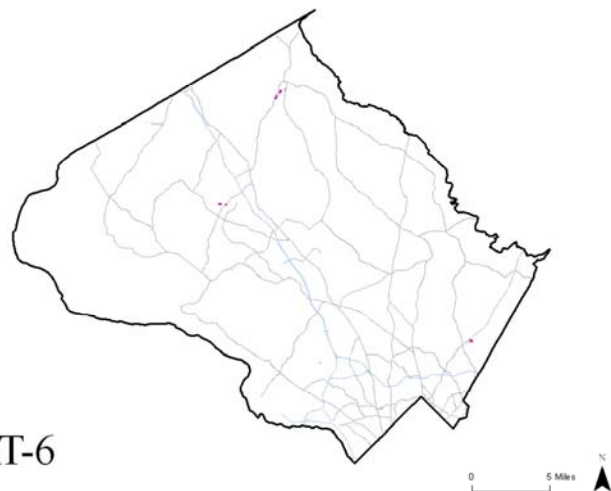


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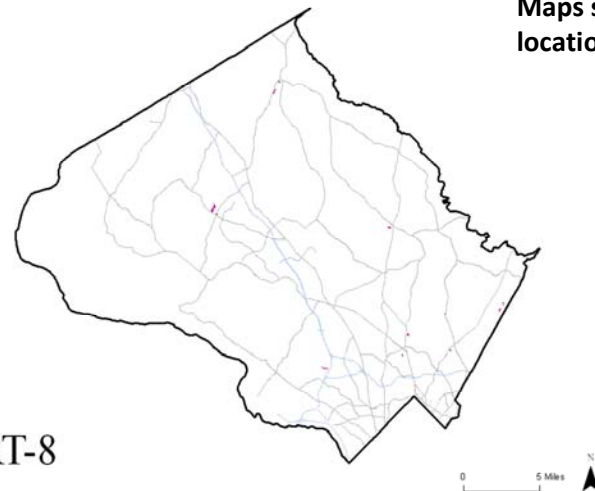


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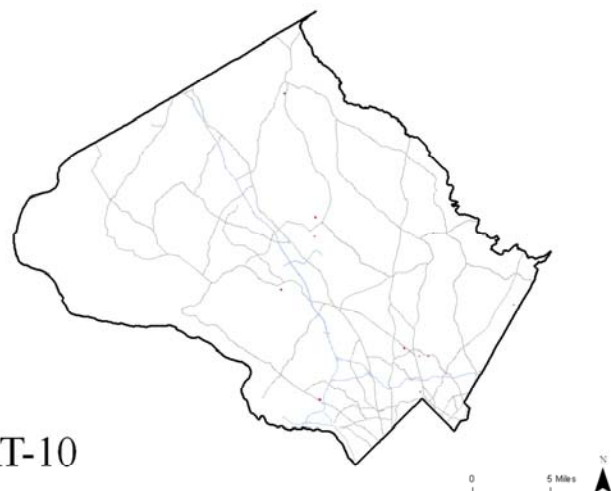
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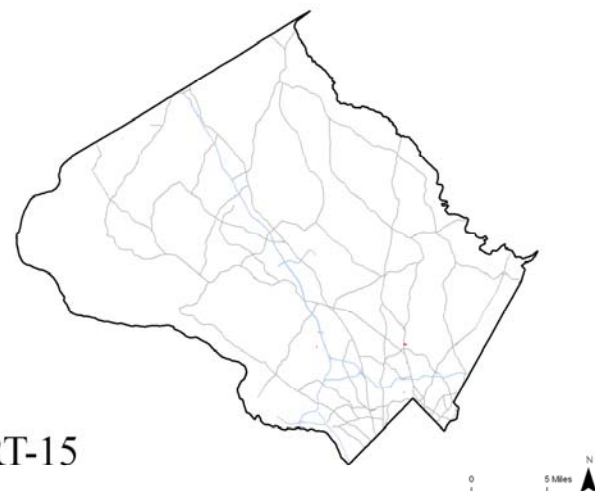
RT-8



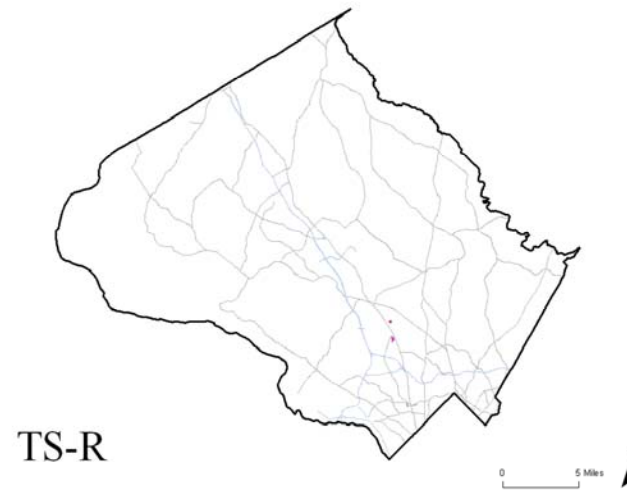
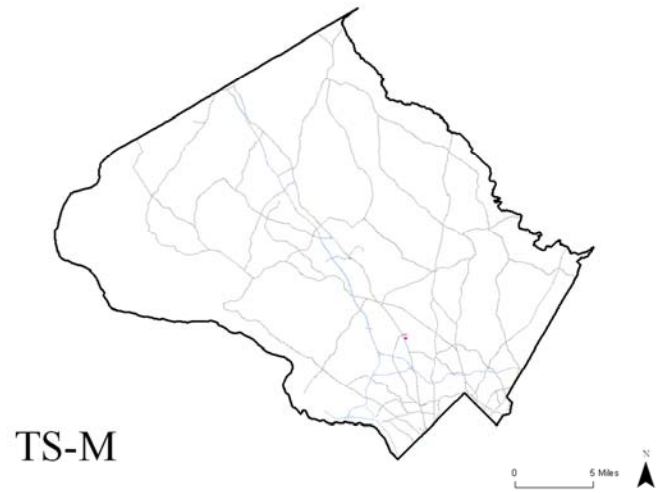
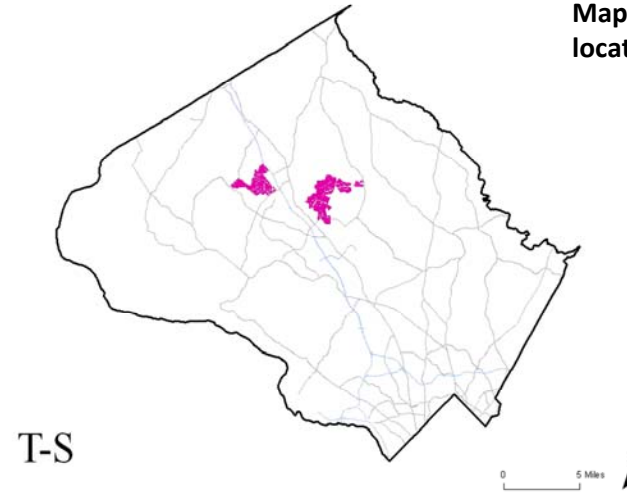
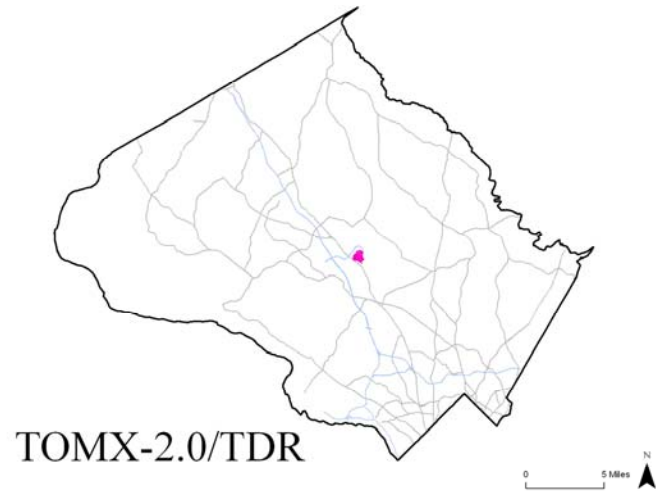
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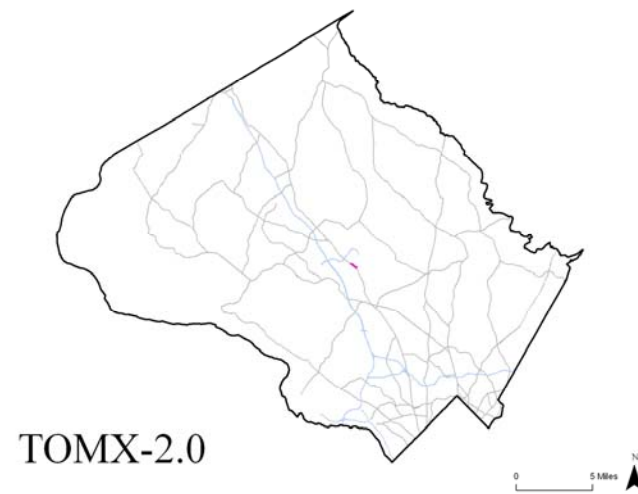
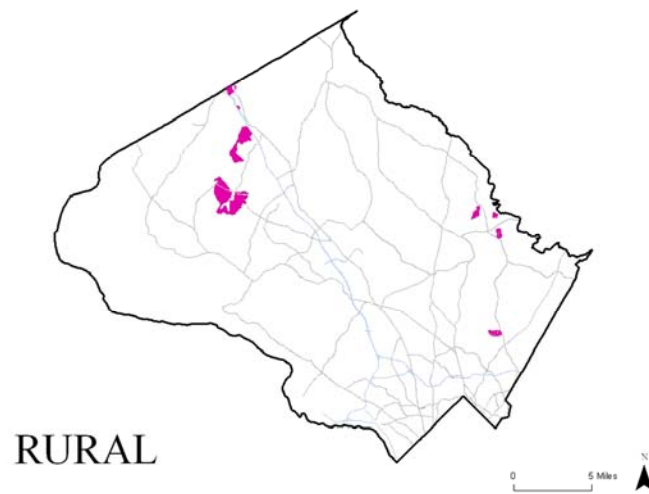
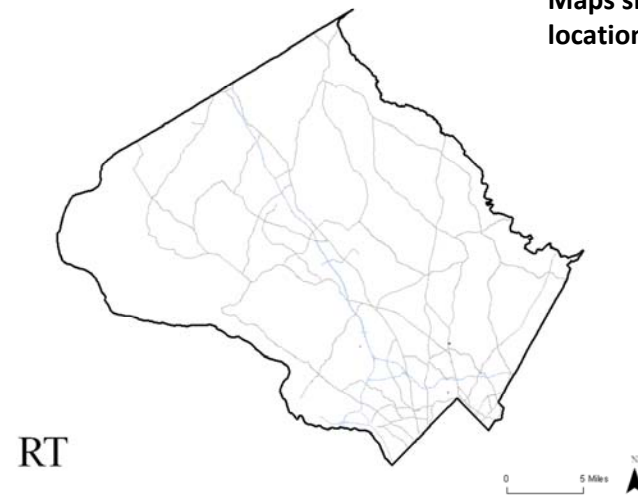
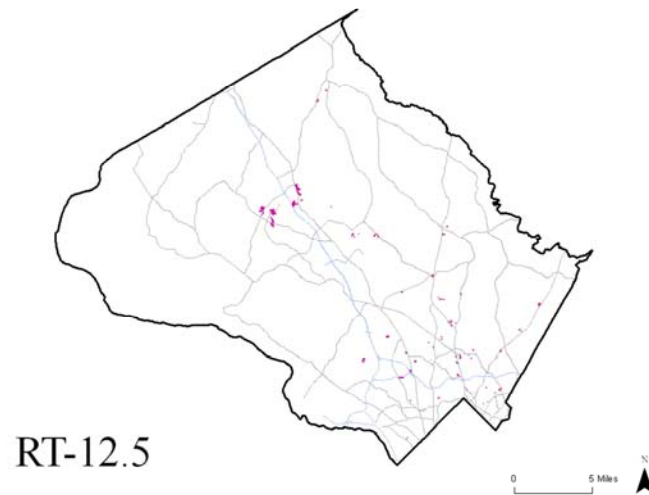
RT-15



Maps show the distribution and location of land in each zone.



Maps show the distribution and location of land in each zone.



Parking Standards

This table represents the parking requirements as listed in the Code reduced from eight pages of text. A tabular version is easier to use and

takes up less space in the Code. As part of the rewrite project the standards and uses will be reviewed and updated. We will consider reducing requirements and establishing maximum requirements in commercial or mixed-use zones.

59-E-3.7 - SCHEDULE OF PARKING REQUIREMENTS

| USE | MINIMUM NUMBER OF PARKING SPACES |
|--|--|
| Airport, airpark, airfield | 50 spaces |
| Ambulance service or rescue squad | Adequate number of spaces to accommodate the use and 2 additional spaces per vehicle |
| Apartment, accessory | 2 spaces per dwelling unit |
| Apartment hotel | 1 space for each transient bedroom or transient suite with no separate bedroom; 1.25 spaces for each apt for transient suite w/one bedroom; 1.5 spaces for each apartment or transient suite with 2 bedrooms; 2 spaces for each apartment or transient suite with 3 or more bedrooms; and one space for every two employees on the major shift; and 2.5 spaces for each 1,000 square feet of floor area for places of assembly |
| Auditorium or stadium | 1 space for every 4 seats or similar vantage accommodations provided |
| Automobile filling station | 1 space for each car wash bay, grease bay, or similar service, and 1 space for each employee |
| Automobile repair and service station | 1 space for each employee, and 3.3 spaces per 1,000 square feet of total floor area |
| Bed and breakfast lodging | 1 space for each guest room, or as provided in 59-G-2.09.2(f); plus 2 spaces required for the main dwelling unit |
| Boardinghouse | 1 space for each guest room for new construction; for a converted structure, 1 space for every 2 rooms |
| Charitable or philanthropic institution | See Section G-2.21(a) and (c)(1) |
| Child care facilities: | |
| Family day care home and group day care home | 1 space for each non-resident staff plus required spaces for the main dwelling unit, and may include on-street parking |
| Child day care center | 1 space for each non-resident staff plus required spaces for the main dwelling unit, if applicable, plus 1 space for every six children |
| Civic or private club | 2.5 spaces per 1,000 square feet of total floor area |
| Clinic, medical or dental | 5 spaces per 1,000 square feet of gross floor area |

| | |
|---|---|
| Community center, library, museum, civic club, private club, lodge or similar use | 2.5 spaces per 1,000 square feet of total floor area |
| Country market | 5 spaces per 1,000 square feet of area used for interior and exterior retail display sales |
| Day care facility for senior adults and persons with disabilities | 1 space for every 4 non-resident senior adults or persons with disabilities. The Board of Appeals may reduce this requirement in accordance with 59-G-2.13 |
| Domiciliary care home | 1 space for every 4 beds and 1 space for every 2 employees on the largest work shift |
| Dwelling, carriage house | 1 space plus 2 spaces required for the main dwelling unit |
| Dwelling, multiple family, or apartment: | |
| Efficiency | 1 space for each dwelling unit |
| 1 bedroom | 1.25 spaces for each dwelling unit |
| 2 bedrooms | 1.5 spaces for each dwelling unit |
| 3 or more bedrooms | 2 spaces for each dwelling unit |
| Dwelling, one-family, semi-detached, two-family, mobile home, fourplex | 2 spaces for each dwelling unit |
| Dwelling, townhouse | 2 spaces per dwelling unit |
| Educational institution, private | 1 space for each employee, and sufficient off-street parking space for the safe and convenient loading and unloading of students, and additional facilities for student parking |
| Farm machinery and supply | 5 spaces per 1,000 square feet of interior and exterior sales area or as per the opinion of the Board of Appeals, but no less than 2 spaces per 1,000 square feet of interior and exterior sales area; if only devoted to storage and service of farm machinery, 1.5 spaces per 1,000 square feet of total floor area |
| Fraternity, sorority, dormitory | 1 space for every 2 students, except 1 space for every 4 students in a dormitory, plus 1 space for each manager or employee |
| Funeral parlor | 1 space for every 25 gross square feet of floor area in the public rooms, and one space for each employee on the major shift, and one space for each business vehicle |
| Furniture store | 2 spaces per 1,000 square feet of gross floor area and 1 space for each employee, except this does not apply to the furniture section of a department store or a furniture store located in a regional shopping center |
| Guest room in a country inn, tourist home | 1 space for each guest room or suite |
| Health clubs | 5 spaces per 1,000 square feet of floor area devoted to patron use, except when located within an office building, 3.5 spaces |

| | |
|---|---|
| Heliport/helistop | As required by the Board of Appeals |
| Hospice | 1 space for each bed, plus 1 space for every 2 employees on the largest shift, plus 1 space for an ambulance or delivery vehicle |
| Hospital | 1 space per 1,000 square feet of total floor area, plus 1 space for each resident doctor, plus adequate reserved space for visiting staff doctors, plus 1 space for every 3 employees on the largest shift |
| Hotel, motel, inn | .5 spaces for each guest room plus 10 spaces per 1,000 square feet of gross floor area used for places of assembly if located in a central business district or transit development area; For all other districts .7 spaces for each guest room, plus 10 spaces per 1,000 square feet of gross floor area used for places of assembly |
| Housing and related facilities for senior adults or persons with disabilities | Parking based on number of bedrooms and location of facility. See chart at Article E: Page 59E-28 |
| Individual living unit in a personal living quarters | 1 space |
| Industrial, manufacturing establishment or warehouse | 1.5 spaces per 1,000 square feet of total floor area |
| Meeting center | 10 spaces per 1,000 square feet of net floor area used for ballrooms and meeting rooms; and 2.5 spaces per 1,000 square feet of net floor area used for foyers and other space |
| Nursing home | 1 space for every 4 beds and one space for every 2 employees on the largest work shift |
| Offices, general and professional buildings | See Section 49-E-3.2 |
| Office, medical practitioner | 4 spaces for each practitioner in each office |
| Office, professional, nonresidential | 5 spaces per 1,000 square feet of gross floor area used by medical practitioners; 2.5 spaces per 1,000 square feet of gross floor area used by all other professionals |
| Office, professional (other than medical practitioner) | 2 spaces for each professional person in each office |
| Place of worship | One space for each 4 persons for whom seating is provided in the main auditorium, provided that the number of spaces is not reduced by more than 30% of the facility is located within 500 feet of any public parking lot; see Article : Page 59E-25 for further details |
| Railroad station, bus depot or other passenger terminal | 100 spaces |
| Recreational establishment, commercial | 12.5 spaces per 1,000 square feet of floor area, except that racquetball, squash, and handball |

| | |
|----------------------------------|--|
| | courts shall require 3.5 spaces per court |
| Regional shopping centers | 5.5 spaces per 1,000 square feet of gross leasable square feet; parking requirements for separate standing office and professional buildings shall be as set forth under the category in this subsection |
| Restaurants | 25 spaces per 1,000 square feet of floor area devoted to patron use within the establishment and 15 spaces per 1,000 square feet of ground area located outside the establishment |
| Retail establishments, auxiliary | 3.5 spaces for each 1,000 square feet of gross leasable space |
| Retail, general | 5 spaces per 1,000 square feet of gross leasable square feet; all storage space that exceeds 35% of the total gross leasable area shall be excluded from this calculation |
| Self-storage facility | 3 spaces per 1,000 square feet of gross floor area, plus 1 space for each employee, plus 2 spaces for a resident manager |
| Swimming pool, commercial | 1 space for every 4 persons legally permitted to occupy the pool |
| Swimming pool, community | 1 space for every 7 persons legally permitted to occupy the pool |
| Theaters, indoor or legitimate | 1 space for every 4 seats or similar vantage accommodations provided |

zoningdiscovery



montgomery county planning department
The Maryland-National Capital Park and Planning Commission

**Technical
Appendix**