# zoningdiscovery

**Technical Appendix** 

montgomery county planning department

The Maryland-National Capital Park and Planning Commission

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### Overview

This appendix to the Zoning Discovery is intended to share compiled information found in the Zoning Code that has been evaluated for this report. Basic parts of the Code, such as numbers and types of zones and the corresponding development standards are important to analyze as we discover what is and what is not working.

Information is provided in:

- Lists zones, special exceptions
- Tables standards, uses, and parking standards
- GIS maps one-page fact sheets and comprehensive mapping of all zones
- Articles Cottage Housing and Sustainability.

Current development standards have been illustrated in one-page fact sheets with GIS imaging reflecting how development actually looks under the standards of a particular zone. A sampling of zones has been included to document standards, including setbacks, lot size, height, and coverage.

How is land zoned in the County? GIS maps for each zoning district show the location and amount of land zoned in a category. The greatest amount of land is zoned Rural Density Transfer (RDT) and several zones, including Rural Service, C5, C6, and Planned Cultural Center, each have only one zoned parcel. Other zones such as MRR, R4-plex, and Low Density Rural Cluster (LDRC) are not zoned at all.

The Zoning Code contains use tables with over 425 residential, commercial, industrial, and institutional uses that are allowed or not

allowed by zone, either as permitted or by special exception. The Code names very specific types of land activities rather than relying on broader categories. This has resulted in overlaps, confusion, and no way to include emerging uses. The review of this long list is a critical part of the Code analysis, as we will rationalize, refine, modernize, and combine the list of uses.

There is much that zoning can do to encourage greener environments. From a residential standpoint, compact subdivisions with smaller lots, a range of limited house sizes, less paving, and sustainable landscaping have been very successful in Washington state and other parts of the country.

We are moving to a commercial/residential mixed use and away from single purpose commercial zones. We need to create connections to work, services, and places where we live and play. The County's transition from greenfield development to urban infill provides the perfect opportunity to update our standards and include incentives to provide small wind turbines, solar access, green roofs, and other ways to achieve our needs for a more ecologically balanced environment. We need to look at reducing parking standards, especially in proximity to transit stations.

Simplification and ease of use will be a driving force as we progress in the zoning rewrite project. It is certain that many issues will arise and recommendations will be examined and tested as we seek to create a new document that addresses development and redevelopment today and into the future.

# **Current Zones**

Compiling a list of all zones is important as we take stock of the current county, and others have been identified as outdated and no longer Code. Analysis indicates that there are zones with slight differences resulting in redundancy. Some zones are not mapped anywhere in the

useful. Finally, within land use classifications such as commercial and industrial zones, there seems to be an illogical hierarchy.

### **59-C-1 Residential Zones**

RE-2	one-family/2 acres per dwelling
RE-2/TDR	
RE-2C	one-family/2 acres per dwelling/50 acre minimum/ 25,000 sf min lot
RE-2C/TDR	
RE-1	one-family/40,000 sf
RE-1/TDR	
R-200	one-family/20,000 sf
R-200/TDR	
R-150	one-family/10,000 sf
R-150/TDR	
R-90	one-family/9,000 sf
R-90/TDR	
R-60	one-family/6,000 sf
R-60/TDR	
R-40	one-family/4,000 sf
R-H	multifamily/high rise planned residential/min net lot area 1,000 sf per dwelling

# 59-C-2 Residential Zones Multifamily

RT-6	townhouse/6 units per acre
RT-8	townhouse/8 units per acre
RT-10	townhouse/10 units per acre
RT-12.5	townhouse/12.5 units per acre
RT-15	townhouse/15 units per acre
R-4plex	residential, fourplex
R-30	multi-family/min net lot area 3,000 sf per dwelling
R-20	multi-family/min net lot area 2,000 sf per dwelling
R-10	multi-family/min net lot area 1,000 sf per dwelling
R-H	multi-family/highrise planned/min net lot area 1,000 sf per dwelling
R-30/TDR	
R-20/TDR	
R-10/TDR	

# 59-C-3 R-Mobile Homes

R-MH	large planned mobile home parks (7 units per acre/minimum 15 acres)
R-MH-200	one-family/double wide mobile homes on half-acre lots

# 59-C-4 Commercial Zones

C-T	commercial, transitional
O-M	office building, moderate intensity
C-O	commercial, office building
C-P	commercial, office park
C-1	convenience commercial
C-2	general commercial
C-3	highway commercial

C-4	limited commercial
C-5	low density, office commercial
C-6	low density, regional commercial
H-M	hotel-motel
C-Inn	country inn

# **59-C-5 Industrial Zones**

I-1	light industrial
I-2	heavy industrial
I-3	technology and business park
I-4	low-intensity, light industrial
R&D	research and development
LSC	life sciences center

# **59-C-6 Central Business District Zones**

CBD-0.5			
CBD-R1			
CBD-R2			
CBD-1			
CBD-2			
CBD-3			

# 59-C-7 Planned Unit Development Zones

PD-2			
PD-3			
PD-4			
PD-5			
PD-7			_

PD-9	
PD-11	
PD-13	
PD-15	
PD-18	
PD-22	
PD-25	
PD-28	
PD-35	
PD-44	
PD-60	
PD-68	
PD-75	
PD-88	
PD-100	
TS	town sector
PN	planned neighborhood
P-R-C	planned retirement community
MXN	mixed-use neighborhood
MXPD	mixed-use planned neighborhood
PCC	planned cultural center

# 59-C-8 Transit Station Development Zones

TS-M	transit station, mixed
TS-R	transit station, residential

# 59-C-9 Agricultural Zones

R	rural
RC	rural cluster

RDT	rural density transfer
RNC	rural neighborhood cluster
RNC/TDR	
R-S	rural service
LDRC	low density rural cluster development zone

# 59-C-10 Residential Mixed Use Zones

RMX-1	community center
RMX-2	specialty center
RMX-2	specialty center, commercial base
RMX-3	regional center
RMX-3C	regional center, commercial base
RMX-1/TDR	
RMX-2/TDR	
RMX-2C/TDR	
RMX-3/TDR	

### 59-C-11 Mixed Use Town Center Zones

MXTC	mixed-use town center
MXTC/TDR	

# 59-C-12 Mineral Resource Recovery Zone

MRR

# 59-C-13 Transit Oriented, Mixed Use Zones

TOMX-2.0	transit oriented mixed use
TOMX-2.0/TD	R
TMX	transit mixed use

# **Cottage Housing**

Redmond Washington's Cottage House Development (CHD) Code was established in 1995 and was the first of its kind to be implemented in this Pacific Northwest community of 50,000 residents just outside Seattle.

It recognizes that a small one or two bedroom home of less than 1,000 square feet of living area has community value but should not be reviewed the same as the typical 2,000 to 3,000 square foot home. Cottage housing is a conditional use in the community's single-family residential zones and allows four to 12 small, detached cottages on a site that would normally be developed with half that number of large homes.

The first CHD project, Third Street Cottages, completed January 1998 by the Cottage Company demonstrated that eight small cottages would fit successfully into an existing single family neighborhood. As a result of this and other pioneering projects, jurisdictions around the country are actively considering some form of CHD code regulation.

# **Purpose**

- To provide a housing type that responds to changing household sizes and ages.
- To provide opportunities for ownership of small, detached dwelling units within a single-family neighborhoods.
- To encourage the creation of more usable open space for residents of the development through flexibility in density and lot standards.
- To support the growth management goal of more efficient use of urban residential land.
- To provide guidelines to ensure compatibility with surrounding land uses.

# **Applicability**

CHD is allowed in all low-moderate density residential districts through neighborhood plans.

# **Development Size**

A minimum of four and a maximum of 12 cottages are located in a cluster to encourage a sense of community among the residents.

### **Definitions**

- A cottage is a small, detached dwelling unit, not greater than 1,000 square feet in total floor area that is developed at a density greater than the underlying zone. More than one cottage may occupy a single lot.
- A cottage housing development is a cluster of four to 12 detached single-family houses around a central open space. It has the following characteristics.
  - Each unit is of a size and function suitable for a single person or very small family.
  - Each unit has the construction characteristics of a singlefamily house.
  - Units may be located on platted lots or as units in a condominium and may share use of common facilities such as a party room, tool shed, garden, orchard, workshop, or parking areas.
  - The site is designed with a coherent concept in mind, including shared functional open space, off-street parking,

access within the site and from the site, and consistent landscaping.

 Size-limited dwelling is a single-family detached unit that does not exceed 1,900 square feet. The determination of total square footage includes attached garages. A size limited dwelling will be so identified and legally binding on the title of the home; the house may not be enlarged above the maximum size limit.

# **Special Site Requirements**

A site requirements chart establishes the basic dimensional requirements for cottages and development standards are intended to define the cottage design parameters to achieve compatibility with adjacent single-family residential uses. The zone addresses standards including density, lot frontage, coverage and setbacks, impervious surface, and open space. Some of the specific standards follow.

### **Cottage Floor Area**

To ensure that the overall size, including bulk and mass of cottage structures and Cottage Housing Developments, remain smaller and incur less visual impact than standard sized single-family dwellings, particularly given the allowed intensity of cottage dwellings.

- To provide variety in Cottage Housing Developments through a mixture of building sizes and building footprints:
  - The total floor area of each cottage shall not exceed either 1.5 times the area of the main floor or 1,000 square feet, whichever is less. Attached garages shall be included in the calculation of total floor area.
  - The total floor area of each cottage shall not exceed either
     1.5 times the area of the main floor or 1,000 square feet,

whichever is less. Attached garages shall be included in the calculation of total floor area.

- Cottage areas that don't count toward the total floor area calculation are:
  - Unheated storage space located under the main floor of the cottage
  - Architectural projections, such as bay windows, fireplaces or utility closets not greater than 18 inches in depth or six feet in width
  - Attached roofed porches
  - Detached garages or carports
  - Spaces with a ceiling height of six feet or less measured to the exterior walls, such as in a second floor area under the slope of the roof.

The Code Administrator may approve other exemptions similar in nature provided the intent of this section is met.

- The maximum main floor area for cottages is 800 square feet. The area of interior stairways may be allocated between floors served.
- A minimum of 40 percent of the cottages and not more than 50 percent shall have main floors of 700 square feet or less. For example: in a five cottage development, two of the cottages would need to have main floors of 700 square feet or less and the other three cottages could have main floors of up to 800 square feet. For fractional numbers, 0.5 and above, round up; below 0.5 round down.
- The total square foot area of a cottage dwelling unit may not be increased. A note shall be placed on the title to the property for the purpose of notifying future property owners that any increase

- in the total square footage of a cottage is prohibited for the life of the cottage or duration of City cottage regulations.
- Cottages shall have a roofed porch at least 80 square feet in size with a minimum dimension of eight feet on any side.

### **Required Minimum Open Space**

To provide a sense of openness and visual relief common open space shall provide a centrally located, focal area for the development. The common area shall be outside of wet stormwater ponds, wetlands, streams, lakes, and sensitive area buffers, on slopes of 10 percent or less, and developed and maintained to be usable for active or passive recreation activities. Private Open Space shall provide private area around the individual dwellings to enable diversity in landscape design. Common open space shall:

- be a minimum of 400 square feet per cottage
- abut at least 50 percent of the cottages in a Cottage Housing Development
- have cottages abutting on at least two sides
- be the main entry to all cottages and be within 60 feet walking distance
- be a minimum of 300 square feet of private, contiguous, usable open space adjacent to each dwelling unit, for the exclusive use of the cottage resident. It shall be oriented toward the common open space as much as possible, with no dimension less than 10 feet.

### **Parking Location and Screening**

The design of parking shall ensure minimal visual impact from vehicle use and storage areas for residents as well as adjacent properties, and will maintain a single-family character along public streets. Parking shall be:

• located on the Cottage Housing Development property

- screened from public streets and adjacent residential uses by landscaping or architectural screening.
- located in clusters of not more than five adjoining spaces
- prohibited in the front yard setback area
- prohibited within 40 feet of a public street, except: single loaded parking is allowed in a maximum 50 foot wide area when setback a minimum of 15 feet from a public street
- allowed between or adjacent to structures only when it is located toward the rear of the principal structure and is served by an alley or private driveway
- required to use a pitched roof design for all parking structures. If a
  parking structure is attached to a cottage unit, review by the
  Design Review Board shall be required.

### **Accessory Dwelling Units**

The number of accessory dwelling units (ADUs), either attached or detached, permitted in a Cottage Housing Development is based on the underlying density calculation for standard sized dwellings that would be attributed to that site. For example, if the density calculation for a site indicates that three standard size homes would be allowed, then three ADUs plus the number of cottages allowed would be the total number of dwelling units permitted on the site.

- The size of an accessory dwelling unit shall be subordinate to that
  of the primary, or cottage dwelling. For any ADU, the total square
  footage of the ADU shall not exceed the lesser of 500 square feet
  or 40 percent of the total square footage of the primary dwelling
  unit and the accessory dwelling unit combined. ADUs attached to a
  cottage shall count in the 1,000 square feet maximum floor area.
  ADUs in a detached structure do not count in the 1,000 square foot
  maximum floor area.
- ADUs are allowed only when proposed at the time of initial cottage development application.

Review by the Design Review Board may be required.

### **Community Buildings**

A Cottage Housing Development may contain community buildings that are clearly incidental in use or size and related to the dwelling units. The community buildings are located on the same site as the Cottage Housing Development and are commonly owned by the residents.

### **Existing Dwellings**

An existing detached or attached single-family dwelling that is incorporated into a Cottage Housing Development as a residence and is nonconforming with respect to the standards of this section shall be permitted to remain on a site used for a Cottage Housing Development. However, the extent of the non-compliance may not be increased unless the proposed change is determined by the Code Administrator to be consistent in character, scale, and design with the Cottage Housing Development.

If the existing dwelling meets the size requirements and can conform to other site standards, it may be counted as a cottage in the density calculation for the site. If the existing dwelling doesn't meet the size limitation for a cottage, then it shall count as one standard size dwelling.

# **Neighborhood Meeting**

The neighborhood meetings provides adjacent and nearby residents with opportunities to obtain information about the proposal and provide comment on the overall project design and concept before an applicant spends significant time and resources developing the specific and development features of the proposal.

- The project applicant for a Cottage Housing Development is required to hold a minimum of one neighborhood meeting. The meeting shall be held early in the permit review process.
- Notification of the meeting shall be mailed to property owners within 500 feet of the proposal and a sign will be posted on site.
- The City shall participate in neighborhood meetings.

# **Supplemental Requirements**

The Code is written to allow this zone to be tailored to neighborhood character. A technical review committee can evaluate proposals to allow variations in total size, unit size, and other characteristics.

# Sustainability through Zoning

Participants through our feedback sessions have called for zoning that will address the interrelated issues of climate change, renewable energy, and sustainability. As these issues are so dependent on land use and development decisions, the County's transition from greenfield development to urban infill provides the perfect opportunity to update our standards. Across the country, zoning ordinances are already reacting to these needs for a more ecologically balanced environment by removing barriers, offering incentives, and even requiring sustainable development. The County can once again be at the forefront of an important planning issue that will benefit everybody.

### **Zoning Barriers to Sustainable Zoning**

According to the definitions in the code, the main difference between "public use space" and "green area" is that one must specifically be available to the public while the other is not required to serve the public. Otherwise, the terms allow almost identical uses such as sidewalks and swimming pools. Instead of "green area" serving as proxy for "private use space," it should have a definition that focuses on positive environmental qualities like permeable surfaces and native vegetation.

The Code is also out-of-date in addressing renewable energy sources. If a property owner wanted to go "off the grid" by using wind turbines or solar panels, there is nothing in the ordinance to provide regulations, process, or incentives to do so.

The density levels for environmentally sensitive areas such as floodplains and wetlands are too high. The current code overburdens these lands, which could have serious consequences in the future. Additionally, there are no maximum lot sizes in RDT zones and there is no minimum FAR in Central Business Districts or TMX/TOMX zones. The current code lacks certain standards that help guide development toward urban infill and away from greenfield development.

# **Best Practices Survey**

### **Wind Turbines**

Wind Turbines can reduce dependence on non-renewable energy and enhance reliability of the power grid.

The American Wind Energy Association has developed model zoning ordinance guidelines that provide guidance for small wind energy systems subject to these requirements.

- Towers can be no more than 150 feet on one-acre lots, larger lots have not limits, but must meet FAA regulations.
- Setbacks must be at least 10 feet from all sides of the property boundaries.
- Sound pressure level must not cause a sound to exceed 60 dBA or be in excess of 5 dBA above background noise.
- Wind turbines must be approved by some level of energy commission (State, Federal, etc.).
- Applicant must submit engineering drawings of the structure that comply with building codes.
- Wind turbines must comply with FAA regulations and the National Electric Code.
- Utility companies must be notified.



Some jurisdictions allow wind turbines to exceed height allowances in rural areas.

### **Solar Access**

Designing and siting buildings for solar access can reduce dependence on non-renewable energy and enhance reliability of the power grid.



Regulating solar access allows homes to capture their own solar energy.

The Boulder, CO Solar Access Ordinance guarantees solar access for residents, giving them the option to pursue solar energy alternatives. Its regulations:

- restrict shadows from overtaking more than between 12 and 25 feet of neighboring properties depending on the zoning district
- require a shadow analysis when applying for a building permit
- require a list of shadow lengths for proposed building heights on Dec. 21<sup>st</sup> at 10 am, noon, and 2 pm. This four- hour period during the shortest day of the year is used to determine solar access
- require new buildings to have ample east-west access and rooftops that can support solar paneling.

### **Green Roofs**

Green roofs can contribute to reducing stormwater run-off, can cool urban heat islands, and can reduce a building's energy use.

Portland, Oregon offers an FAR bonus for buildings with eco-roofs, within the following guidelines.

- An eco-roof is a rooftop stormwater facility that has been certified by the Bureau of Environmental Services (BES).
- Depending on the percentage of building footprint taken up by the eco-roof, FAR can be increased from one to three extra square feet for each square foot of eco-roof.
- Applicant must submit a letter certifying that BES has certified the roof.
- Property owner must have a covenant with the city ensuring installation, preservation, maintenance, and replacement of the roof if necessary.



Benefits of green roofs include reducing stormwater runoff and reducing energy use.

### **Green Building**

Green buildings consume less energy, contribute to improved air and water quality, and decrease pollution and landfill waste. They can lower utility and operating costs, enhance occupant health and comfort, and offer other economic, environmental, and health benefits.

Howard County, Maryland's expedited permitting process and tax credits for green buildings have the following features.

- All new county projects (LEED for New Construction and LEED for Core and Shell) are required to achieve LEED Silver and all private construction greater than 50,000 square feet must achieve LEED Certified.
- LEED Gold and Platinum projects enjoy expedited permitting.
- A five-year property tax credit for LEED for New Construction and LEED for Core and Shell; the credit increases depending on level of certification (25 percent for Silver, 50 percent for Gold, and 75 percent for Platinum). A similar spectrum exists for LEED for Existing Buildings, but for three years instead of five.

Other jurisdictions use green building incentives such as grants, density bonuses, free technical assistance, and fee reductions or waivers.

### **Conservation Subdivisions**

Conservation subdivisions cluster homes on small lots and provide shared open spaces in order to preserve the natural features of the land to a greater extent than conventional suburban development. This method creates the same number of homes in a less consumptive manner while establishing an interconnected network of community green spaces

Prince George's County, Maryland has adopted a conservation zoning code with the following features.

- Conservation design rearranges the development on each parcel as it is planned so that half (or more) of buildable land is set aside as open space.
- In general, conservation zoning favors clustering over large-lot zoning. Without down zoning, the same number of homes can be built in a less land-consumptive manner, allowing the balance of the property to be permanently protected.
- Certain percentages of gross land area (ranging from 40-60 percent) in the he O-S, R-A, R-E and R-R zones must be designated as a conservation lot.

### **Green Area Ratio**

Green area ratio measures the amount of a building's green area in relation to its total lot area. This standard for all new buildings guarantees future development will contribute to a more environmentally-friendly city by allowing incremental increases in sustainability in a built, urban setting. It is a decentralized approach that is cost effective for the city and engages the public.



This green façade is an example of the incremental change encouraged by a green area ratio.

This technique is used in Berlin, Germany with the following standards.

- The city measures the percentage of a building's green are accessible to the public, including parks, gardens, and other open spaces. 70 percent must be permeable with respect to the total lot area.
- The city mandates that any new building or enhancements must attain a certain green area ratio—residential: 60 percent, mixed use: 40 percent, commercial/city center: 30 percent.
- To compensate for variations among technologies, the city has developed a weighting system whereby better performing technologies are more favorably weighted. Green facades and vegetated courtyards are some of the most common solutions.

### Stakeholder Feedback

An online survey generated 75 responses to the question "What issues or uses do you feel the code could more adequately address?"

27%	Sustainability	
11%	Sustainaniiity	

- 20% Renewable Energy
- 15% Small Business Incentives
- 19% Parking Standards
- 22% Landscaping
- 32% Design and Architectural Guidelines
- 24% Other

### **Rewrite Direction**

- The code should clarify the difference between "green area" and "public use space." Specifically, "green area" should be limited to amenities that enhance the environmental quality and function of the space.
- Consider subtracting environmentally sensitive lands like flood plains and wetlands before calculating a property's density.
- To further protect environmentally sensitive lands, setbacks could be applied to the net developable areas and building restriction lines could be measured from lines defining environmentally sensitive areas.
- Consider a tree preservation ordinance to address the protection of individual specimen, heritage, memorial, and street trees.

# **Overlay Zones**

An overlay zone is defined as "a geographic area that constitutes a mapped district superimposed over the underlying base zone on the official zoning map. An overlay zone includes development regulations and standards that either add to or modify the requirements of the underlying zone." The following table identifies each of the 15 overlay zones by type, general purpose, acreage in the County, and identifies the applicable development process.

# montgomery county overlay zones

tуре	overlay	purpose	acreage	development process
Employment-Oriented	US 29/Cherry Hill Rd Employment Area	Develop a mix of office, regional commercial, and light industrial as well as local and regional retail uses while establishing uniform development standards and encouraging traffic-limiting measures	711.70 S	Site plan review, except where cumulative redevelopment does not exceed 20% of existing gross floor area
	Burtonsville Employment Area	Develop a mix of office, commercial, light industrial, and limited accessory retail uses while establishing uniform development standards and encouraging traffic-limiting measures	42.17	Site plan review
	Neighborhood Retail	Allow for neighborhood-serving retail commercial uses in multifamily zones as recommended in the applicable master plan	27.40	Site plan review for development in a multifamily zone that proposes commercial uses
	Arlington Rd District of Bethesda CBD	Preserve a variety of retail uses and encourage commercial development that retains the existing scale of development and mix of uses	5.80	Site plan review
	Chevy Chase Comparison Retail	Preserve and encourage a variety of retail uses and services in Friendship Heights CBD to meet the needs of workers, shoppers, and residents	8.31	Standard and Optional methods Site plan review
	Retail Preservation for Wheaton CBD	Retain a variety of small business, retail uses, and services and encourage compatible, higher-density, mixed-use development near the transit station	50.50	Standard and Optional methods Site plan review
	Chevy Chase Neighborhood Retail Preservation	Allow reasonable expansion and modernization of retail space while retaining the existing mix of neighborhood- and pedestrian-oriented retail and service uses	4.02	Site plan review
	Takoma Park/East Silver Spring Commercial Revitalization	Foster economic vitality and community character as well as combine residential and commercial uses in areas needing revitalization while promoting an enhanced circulation system for pedestrians, bicycles and motor vehicles	94.52	Site plan review

type	overlay	purpose	acreage	development process					
Design-Oriented	Fenton Village	Provide flexibility of development standards to facilitate a cohesive urban development pattern and encourage attractive, compatible design while allowing for new uses and the transfer of public use space	34.76	Site plan review, except where cumulative redevelopment does not exceed 20% of existing gross floor area					
	Ripley/South Silver Spring	Provide flexibility of development standards to facilitate a cohesive urban development pattern and encourage attractive, compatible design while allowing for new uses and the transfer of public use space requirements	54.64	Standard method in accordance with underlying zone; Optional method for use of development credits; Site plan review; Project plan where applicable					
uburban Character Preservation	Town of Garrett Park	Create uniform development standards to preserve the park-like setting of the garden suburb by maintaining housing stock yet allowing a reasonable amount of expansion in living space that is compatible in scale, siting, and lot orientation	158.65	Site plan review only required if building height is involved					
	Sandy Spring/Ashton Rural Village	Preserve the rural village character by encouraging new or expanded houses or businesses to be compatible in terms of scale, siting, design features, and orientation on the site	137.19	Site plan review					
	Rural Village Center	Emphasize the open, green character of the surroundings by creating attractive, cohesive, and pedestrian-friendly rural village centers, consisting of a mix of uses as allowed in the underlying zones	98.90	Site plan review					
Environment-Oriented	Upper Paint Branch Special Protection Area	Protect the water quality and quantity as well as the biodiversity of the area by regulating impervious surfaces and other land uses that could adversely affect the watershed	4784.85	Not listed					
	Upper Rock Creek Special Protection Area	Protect the water quality and quantity as well as the biodiversity of the area by regulating impervious surfaces and other land uses that could adversely affect the watershed	7689.80	Not listed					

# **Uses in the Zoning Code**

The following table compiles the 425 uses allowed to operate in the County, sorted by zone. The Code includes a series of tables by land use classification to regulate a zone's permitted (P) or special exception (SE) uses.

As part of the Code rewrite, this list is being analyzed and rationalized to determine if uses are:

- current or need to be updated
- appear numerous times with slight variation
- able to be expressed in more general terms
- unnecessary or redundant.

	AGRIC	CULTURAL ZONES														RESIDEN	TIAL ZONES												
LAND USE	RURAL RC LDRC	RDT RDT	RNC	RNC/TDR	RE-2C	RE-1	R-200	R-150	R-90	R-60	RE-2/TDR RE-2C/TDR	RE-1/TDR	R-200/TDR	R-150/TDR	R-90/TDR	R-40	HMH	RMH-200	RT-6.0	RT-8.0 RT-10.0	RT-12.5	RT-15	R-4 PLEX	R-30	R-10	R-H	R-30/TDR	R-10/TDR	C-1
Agricultural processing, primary  Equestrian facility	P/SE P/SE P/SE	D/CF D/CF	Р	Р																									
Farm	P P P	P P		P																									
Fish hatchery Other agricultural use	P P P	P P	P	P																									
Blacksmith	SE SE SE		Р	P																									
Christmas tree sales between December 5 and 25	P P P SE SE SE	P P SE P		P SE											_			-	-				-					_	
# 0 Earm market	P P P	P P	Р	Р																									
Authorization Nursery, horticultural - retail	SE SE SE SE SE SE	SE P		SE SE			-																						
Nursery, horticultural - wholesale	SE SE SE	SE P		SE																									
Abattoir Agricultural processing, primary	SE         SE         SE           SE         SE         SE																												
Construction Debris Reclamation Facility	- 32	P																											
Contractors storage yard (existing)  Grain elevator	SE SE SE	SE SE						_											-										
Manufacture of light sheet metal products (existing)		P																											
Manufacture of mulch and composting Milk plant	SE         SE         SE           SE         SE         SE							_																				_	
Sawmill	SE SE SE	SE																											
Storage for recycling of building o construction materials (existing)  Winery	SE/P SE/P SE/P	SE/P SE/P	SE	SE																									
Wood product and furniture manufacturing (existing)		P																											
Adult entertainment business  Aircraft parts, sales and services, including the sale of fuel for aircraft only				-																									
Animal research service facilities																													
Antique shops Antique shops, handicrafts or art sales	SE SE SE	SE P	SE	SE S	E	SE	SE				SE	SE	SE					SE	_									_	_
Antique shops, handicrafts or art sales and supplies																													
Appliance stores Auction facility		SE P																											
Automobile parts, sales and services, including but not limited to tire sales and transmission services, but excluding automobile filling stations																													
Automobile parts, supplies and tire stores																													
Automobile repair and services Automobile sales																													
Automobile sales and service mall																													
Automobile sales, indoor Automobile sales, indoors and outdoors				-																									
Automobile sales, indoors and outdoors  Automobile sales, outdoors																													
Automobile sales, retail showroom  Boat sales, indoors																													
Boat sales, outdoors																													
Book stores Building material and supply, wholesale or retail																													
Building materials and supplies stores																													
Business offices operated in conjunction with uses permitted in the zone  Cable communications system																													
Cafeteria, dining room, snack bar, or other such facilities as an accessory use in connection with the operation and																													
primarily for employees of the zone in which the use is located  Christmas trees, sale of between December 5 and December 25				F	<b>)</b>	Р	Р	P	P	P	P	P	P	P	P F	) P		P					P						
Combination retail store																													
Consignment store  Convenience food and beverage																													
Country inns																													
Delicatessen Department stores																													SE
Drug stores																													SE
Eating and drinking establishments Eating and drinking establishments, excluding drive-ins																													SE
Eating and drinking establishments, including drive-ins																													
Farm building supply and construction Farm implements, storage and sales																													
Farm machinery: sales, storage, or service Farm supply: sales, storage, or service		SE P																											
Feed and grain, storage and sales	SE SE	SE P																											

3 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	COMMERCIAL ZONES	INDUSTRIAL ZONES	CENTRAL BUSINESS DISTRICT ZONES	TRANSIT STATION DEVELOPMENT AREA ZONES RESIDENTIAL MIXED USEDEVELOPMENT ZONES	MIXED USE TOWN CENTER ZONES MINERAL RESOURCE RECOVERY TRANSIT ORIENTED, MIXED USE ZONES
F	Oo. M Country inn	H2 H3 H2	(S) (O)	TS-R TS-M RWX-1 RWX-2 RWX-2C RWX-3C RWX-3C RWX-3/TDR RWX-2/TDR	
	P P P P P	P P	P P P P P P P P	P P P P P P P P P	
P	P P P			P P P P P P P P	
	P P  SE P  P P		P P SE		
P	P P		P P		P
P/SE P/SE P SE SE SE SE SE SE SE P P P P P P P	P P P P P P P	P		P P P P P P P P P P P P P P P P P P P	P P
	P/SE P/SE P P P P P P P P P P P P P P P P P P P	SE SE SE SE SE	P P P P P P P P P	P P P P P P	P P P P P

			AG	GRICULT	TURAL 2	ZONES																					RE	ESIDENT	TIAL ZON	IES															
LAND USE			LDRC		RDT	RS	Ç.	J N	RNC/TDR	BE.2	NE-2	RE-2C	RE-1	R-200		R-150	R-90	R-60	, r	KE-2/ I U K	RE-2C/TDR	RE-1/TDR	R-200/TDR	R-150/TDR	ac.F/00 a	N-70	R-60/TDR	R-40	RMH	RMH-200	RT-6.0		KI-8.0	RT-10.0	KI-12.5	RT-15	R-4 PLEX	R-30	R-20	R-10	±.	0 dCF/00	K-30/ I DK	R-20/TDR	7. C. H.
Florists Food and beverage stores										н																																			
Furniture stores																																													
Furniture stores, carpet or related furnishing sales or service  Garden supply shops										н																																			
Gift shops																																													
Grocery stores Hardware stores				-			+	_		н				+	-	-		-		-										+		-		_	-	-				+	_	+			
Heavy equipment, sales and services										Н					_																											+			
Jewelry stores																																													
Landscape contractor Lumberyards							-	-		S	E	SE	SE	SE	E				S	E	SE	SE	SE																						
Millinery shops		_	_	_										+	+					_												+		_						+		+			
Mobile homes and trailer sales																																													
Newsstands Office supply stores																																													
Pet sales and supply store																																													
Pet shops  Photographic and art supply stores																																													
Photographic and art supply stores Photographic supply store																																													
Printing and publishing																																													
Retail nursery or garden center				-						S	E	SE	SE	SE	E				S	E	SE	SE	SE																						H
Retail sales and personal service establishments incidental to a multiple-family dwelling or group of dwellings																																								SE	SE				
Retail sales and personal services															_					_																									
Retail sales and personal services, dealing primarily with employees in the zone, in accordance with section 59-C-5.23																																													
Retail trades, businesses, and services of a general commercial nature																																													
Saddlery				-						н					_	-																				-									
Specialty shops																																													
					i																																								
Tire, battery and accessory stores located in an integrated shopping center Transitory use	P/ SE	P/SE	E	P	P/ SE		P/	'SE	P/ SE	P/:	SE	P/SE	P/SE	P/S	SE P	P/SE	P/SE	P/S	E P/	SE F	/SE	P/SE	P/SE	P/SE	E P/	SE P	P/SE	P/SE		P/S	E P/S	E P,	/SE P	/SE P	SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P	P/ SE	P
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores	P/ SE	P/SE	E	Р	P/ SE		P/	'SE	P/ SE	P/:	SE	P/SE	P/SE	P/S	SE P	P/SE	P/SE	P/S	E P/	SE F	/SE	P/SE	P/SE	P/SE	E P/	SE P	P/SE	P/SE		P/S	E P/S	SE P,	/SE P	/SE P	/SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P,	P/ SE	P
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse	P/ SE	E P/SE	E	P	P/ SE		P/	'SE	P/ SE	Е				E P/S		P/SE	P/SE	P/S				P/SE SE		P/SE	E P/	SE F	P/SE	P/SE		P/S	E P/S	SE P,	/SE P	/SE P	/SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P,	P/ SE	P.
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users	P/SE	E P/SE	E	P	P/ SE		P/	'SE	P/ SE	Е						P/SE	P/SE	P/S						P/SE	E P/	SE P	P/SE	P/SE		P/S	E P/S	SE P,	/SE P	/SE P	SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P,	P/ SE	P
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers	P/ SE	P/SE	E	P	P/ SE		P/	SE	P/SE	Е						P/SE	P/SE	P/S						P/SE	E P/	SE F	P/SE	P/SE		P/S	E P/S	SE P,	/SE P	/SE P	/SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P,	P/ SE	P,
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale rades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls	P/ SE	E P/SE	E	P	P/ SE		P/	SE	P/SE	Е						P/SE	P/SE	P/S						P/SE	E P/	SE F	P/SE	P/SE		P/S	E P/S	SE P,	/SE P	/SE P	'SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P,	P/ SE	P
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges	P/SE	P/SE	E	P	P/SE		P/	'SE	P/SE	Е						P/SE	P/SE	P/S						P/SE	E P/	SE F	P/SE	P/SE		P/S	E P/S	SE P,	/SE P	/SE P	'SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P,	P/SE	p
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private		P/S6				P	P/	SE	P/SE	Е						P/SE	P/SE	P/S						P/SE	E P/	SE F	P/SE	P/SE		P/S	E P/S	GE P,	/SE P	/SE P	/SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P,	P/SE	P
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys	P	P				P	P/	SE	P/SE	Е	E	SE				P/SE	P/SE	P/S		E	SE			P/SE	E P/	SE F	P/SE	P/SE		P/S	E P/S	SE P/	YSE P	/SE P	'SE F	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P,	P/SE	P
Tires, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds		P	P			P	P/	SE	P/SE	Е	E					P/SE	P/SE	P/S		E				P/SE	E P/	SE F	P/SE	P/SE		P/S	E P/S	SE P,	'SE P	/SE P	'SE F	P/SE	P/SE	P/ SE	P/SE	P/S	E P/S	SE P/	SE P	P/SE	P
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp retreat, non-profit Country club	P	P	P	p		P	P/	SE	P/SB	Е	E	SE				P/SE	P/SE	P/S		E	SE			P/S6	E P/	SE P	P/SE	P/SE		P/S	E P/S	SE P,	/SE P	/SE P	'SE F	P/SE	P/SE	P/ SE	P/SE	P/S	E P/S	SE P/	SE P,	P/SE	P
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks	P SE SE	P P SE	P	P	P	P	P/	SE	P/SB	Е	E	SE				P/SE	P/SE	P/S		E	SE			P/SB	E P/	SE F	P/SE	P/SE		P/S	E P/S	SE P,	/SE P	/SE P	/SE P	P/SE	P/SE	P/ SE	P/ SE	P/S	E P/S	SE P/	SE P.	P/SE	P
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Art or cultural centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp grounds Camp grounds Camp circuses and amusement parks Golf course Golf course	P SE SE	P	P	P	P	P	P/	SE	P/SB	S	E	SE SE	SE	SE	E					E	SE	SE	SE	P/SE				P/SE		P/S		SE P,	/SE P	/SE P	/SE F	P/SE	P/SE		P/ SE				SE P,		
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Ant or cultural centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course Golf courses and country clubs Golf courses, miniature	P SE SE	P P SE	P	P	P	P	P/	SE	P/S6	S	E	SE SE	SE	SE	E				S	E	SE	SE	SE									P <sub>i</sub>	/SE P	/SE P	F F	P/SE	P/SE								
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course off courses, miniature Golf driving ranges Golf driving ranges	P SE SE	P P SE	P	P	P	P	P/	SE	P/SE	S	E	SE SE	SE	SE	E				S	E	SE	SE	SE									P <sub>I</sub>	P P	/SE P	r F	P/SE	P/SE								
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf courses Golf courses and country clubs Golf courses, miniature Golf driving ranges Health club Health clubb Health clubb and gyms	P SE SE SE	P P SE SE	P SE	P P SEE	P	P	P/	SE	P/SB	S	E	SE SE	SE	SE	E				S	E	SE	SE	SE									P. C.	//SE P	//SE P	YSE F	P/SE	P/SE								
Golf driving ranges Health club Health clubs and gyms Hunting or fishing cabin, private	P SE SE SE	P P SE SE	P P SEE	P P E E E E E E E E E E E E E E E E E E	P					S	E	SE SE	SE	SE	E				S	E	SE	SE	SE									Property of the second	//SE P	P P	//SE F	P/SE	P/SE								
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course Golf courses and country clubs Golf courses, miniature Golf driving ranges Health club Health clubs and gyms Hunting or fishing cabin, private Kennels, noncommercial Libraries and museums	P SE SE SE	P P SE SE	P P P P P P	P P E E E E E E E E E E E E E E E E E E	P P SE				P	S	E	SE SE	SE	SE	E		SE	SE	\$ 5	E	SSE	SE	SE	SE	S	E	SE	SE				P. P	P P	P P	//SE F		P/SE	SE		SE		S	E	SE	S
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course Golf courses and country clubs Golf courses, miniature Golf driving ranges Health club Health club Health club and gyms Hunting or fishing cabin, private Kennels, noncommercial Libraries and museums Libraries and museums and similar institutions of noncommercial interest	P SE SE SE	P P SE SE P P P	P P P P P P	P P E E E E E E E E E E E E E E E E E E	P P SE			P	P	S	E	SE SE	SE	SE	E	SE	SE	SE	\$ 5	E E	SSE	SE	SE	SE	S	E	SE	SE		SE		P.	//SE P P	/SE P	//SE F			SE	SE	SE		S	E	SE	
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course Golf courses and country clubs Golf courses, miniature Golf driving ranges Health club Health clubs and gyms Hunting or fishing cabin, private Kennels, noncommercial Libraries and museums	P SE SE SE	P P SE SE P P P	P P P P P P	P P E E E E E E E E E E E E E E E E E E	P P SE			P	P	S	E	SE SE	SE	SE	E	SE	SE	SE	\$ 5	E E	SSE	SE	SE	SE	S	E	SE	SE		SE		P.	P P	/SE P	//SE F			SE	SE	SE		S	E	SE	
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course Golf courses and country clubs Golf courses, miniature Golf driving ranges Health club Health club Health club and gyms Hunting or fishing cabin, private Kennels, noncommercial Libraries and museums Libraries and museums and similar institutions of noncommercial interest Libraries, scientific or technical Miniature golf Parks and playgrounds	P SE SE SE	P P SE SE P P P	P P P P P P	P P E E E E E E E E E E E E E E E E E E	P P SE			P	P	S	E	SE SE SE	SE SE	SE	E	SE	SE	SE	S S S	P	SSE	SE SE	SE SE	SE	S	E	P	SE		SE		P.	//SE P	/SE P	//SE F		P	SE	SE	SE		S	E	SE	
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course Golf courses Golf courses and country clubs Golf courses, miniature Golf driving ranges Health club Health club and gyms Hunting or fishing cabin, private Kennels, noncommercial Libraries and museums Libraries and museums and similar institutions of noncommercial interest Libraries, scientific or technical Miniature golf Parks and playgrounds, publicly owned	P SE SE SE	P P SE SE P P P	P P P P P P	P P E E E E E E E E E E E E E E E E E E	P P SE			P	P	S	E	SE SE SE	SE SE	SE	E	SE	SE	SE	\$ 5	P	SSE	SE SE	SE SE	SE	S	E	P	SE		SE		P. C.	//SE P	/SE P	//SE F			SE	SE	SE		S	E	SE	C
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course Golf courses and country clubs Golf courses, miniature Golf driving ranges Health club Health club Health club and gyms Hunting or fishing cabin, private Kennels, noncommercial Libraries and museums Libraries and museums and similar institutions of noncommercial interest Libraries, scientific or technical Miniature golf Parks and playgrounds	P SE SE SE P P	P P SE SE P P P	P P P P	P P P P P P P P P P P P P P P P P P P	P P P	P		P	P	S	E	SE SE SE P P	SE SE P P	SE SE	E	SE P P	SE P	SE SE	S S S	E E E P P P P P P P P P P P P P P P P P	SSE	SE SE	SE SE	SE P P	S	E	SE P P	SE P		SE		P. C.	P P	/SE P	//SE F		P	SE	SE	SE	P	S	E	SE	
Tire, battery and accessory stores located in an integrated shopping center Transitory use Variety and dry goods stores Wearing apparel stores Wholesale nursery or greenhouse Wholesale nursery or greenhouse Wholesale trades limited to sale or rental of products intended for industrial or commercial users Amusement centers Art or cultural centers Auditoriums or convention halls Baseball driving ranges Billiards parlors Boathouse, private Bowling alleys Camp grounds Camp retreat, non-profit Country club Fairgrounds, circuses and amusement parks Golf course Golf courses and country clubs Golf courses, miniature Golf driving ranges Health club Health clubs and gyms Hunting or fishing cabin, private Kennels, noncommercial Libraries and museums Libraries and museums Libraries, scientific or technical Miniature golf Parks and playgrounds, publicly owned Private clubs	P SE SE SE P P	P P SE SE	P P P P	P P P P P P P P P P P P P P P P P P P	P P P	P		P	P	S	E	SE SE SE P P	SE SE P P	SE SE	E	SE P P	SE P	SE SE	S	E E E P P P P P P P P P P P P P P P P P	SSE	SE SE P P	SE SE	SE P P	S	E	SE P P	SE P		SE		P. C.	P P	/SE P	//SE F		P	SE P	SE	SE	P	S	P	SE	

COMMERCIAL ZONES	INDUSTRIAL ZONES		TRANSIT STATION RESIDENTIAL MIXED USEDEVELOPMENT ZONES	MIXED USE TOWN CENTER ZONES MINERAL RESOURCE TRANSIT ORIENTED, MIXED USE ZONES
Country inn	14	2 (S) (O) (D) (D) (D) (D) (D) (D) (D) (D) (D) (D	TS-R	A
P P P P P P P P P P P P P P P P P P P		P P P P P P P P P P P P P P P P P P P	P P P P P P P P P P P P P P P P P P P	P P P P P P P P P P P P P
P P P P P P P P P P P P P P P P P P P		P         P	P P P P P P P P P P P P P P P P P P P	P P P P P P P P P P P P P P P P P P P
P	P P P		P P P P P P P P P	P P P P P
SE		PPPPPPPPP	SE SE P P P P P P P P P P P P P P P P P	P P P P P P P P P P P P P P P P P P P
P				P P P P P
SE SE P	P P P F		P P P P P P P P P	
P   P   P   SE   SE   P   P   SE   SE		P P P P P P P P P P P P P P P P P P P	P P P P P P P P P	P P P P
P P P P P	P P P	P P P P P P P P P P P P P P P P P P P	P P P P P P P P P P	P P
SE   SE   P	SE SE SI	P P P P P P P P P P P P P P P P P P P	P P P P P P	P P P P P
P P SE		P P P P P P P P P	P P P P P P P	
P P  SE SE P P				
SE SE	P P P F			P P P P P
P P P P P P		P P P P P P P P	P P	
P P P P P P P SE SE P	SE SE SE SE	P         P		P         P         P         P           SE         SE         SE         P         SE         P
SE SE SE SE SE SE	P P P P F	P	P P P P P P	

Stoneworks

COMMERCIAL ZONES	INDUSTRIAL ZONES		TRANSIT STATION EVELOPMENT AREA ZONES  RESIDENTIAL MIXED USEDEVELOPMENT ZONES	MIXED USE TOWN MINERAL RESOURCE TRANSIT ORIENTED, MIXED USE CENTER ZONES RECOVERY ZONES
O-M Country inn	25	S) (O) (S) (O) (S) (O) (S) (O) (S) (O)	T5-R RMX-1 RMX-2 RMX-3 RMX-3/TDR RMX-3/TDR	A   A   A   A   A   A   A   A   A   A
SE P	SE SE SE		P P P P	
SE SE   SE   SE   SE   SE   SE   SE		SE	P P P P P P	
P P SE P P SE P	P	P P P P P P P P P P P P P P P P P P P	P	P P P P
				P P
P P P				
		P P P		P P
	P P P P			P P
	P P P P P P P P P P P P P P P P P P P			
	P         P         P           P         P         P         P           P         P         P         P			
	P         P           P         P           P         P           P         P           P         P			P P
	P         P         P         P         P           P         P         P         P         P           P         P         P         P         P	P		P P
	P         P         P         P           P         P         P         P           P         P         P         P			
	P P P F	P		
	P P P P P	P		
	P P P P P P P P P P P P P P P P P P P			P P
	P         P         P         P         P           P         P         P         P         P           P         P         P         P         P			P P

			AGRICI	JLTURAL	ZONES																1	RESIDENT	IAL ZONE	S													
LAND USE	tural	SC.	DRC	TOT	S	3NC	NC/TDR	KE-2	RE-2C	RE-1	١-200	١-150	06-}	09-}	RE-2/TDR	RE-2C/TDR	RE-1/TDR	8-200/TDR	8-150/TDR	4-90/TDR	8-60/TDR	۲-40	змн	3MH-200	עד-6.0	XT-8.0	₹Т-10.0	₹Т-12.5	XT-15	4-4 PLEX	4-30	4-20	4-10	Ŧ	R-30/TDR	4-20/TDR	
nsmith and roofing services																														<u> </u>				-			+
rehousing and storage services: Industrial and commercial users																																					Т
arehousing and storage services: Self-storage facilities																																					Т
ood products manufacturing																																					
coholic beverage manufacturing																																					
tomobile recycling facility																																					
ntral mixing plants for asphalt, concrete or other paving materials																																					
emicals, except sulfuric, nitric, hydrochloric acid or other corrosive or offensive chemicals																																					
stillation of coal, tar, or wood																																					
e works																																					
tilizer mixing plants																																					
undries or metal fabrication plants																																					
inerators																																					
anufacturing of brick, clay, terra cotta and tile																																					
anufacturing of cinder blocks																													4	4		4		4			4
anufacturing of cloth made from shoddy or other similar material																																					
anufacturing of printing inks																													4	4				4			4
anufacturing of synthetic fabrics such as rayon																																4					
f-loading and transfer sites for storage of sand, gravel or rocks																																4					
cycling facility																														4		4					4
ck crusher, washing and screening plants																																					4
nitary landfills																														_						_	4
arch, glucose and dextrin																														4				4			_
eam power plants							_																							4							4
ove polish						_	_	_																					_	_	_	_					-
gar refineries cessory buildings and uses									_	_					_	_	_	_	_	D				_					4	_			_				-
cessory buildings and uses cessory buildings or structures for housing animals or fowl	Р	Р	Р	Р	Р	Р	Р	P	P	P	P	P	P	P	P	P	P	P	P	P	P	Р		P					$\leftarrow$	P	P	P	Р	P	P	P	+
nnels, noncommercial							_		P	P D	P D	P	P	P	P	P	P	P	P	P	P	D		D					+	P	+	+		+	$\vdash$	$\vdash$	+
curity pavilion	P	D	P	P	P	P	P	P	r	P D	P P	Г	-	-	P	-	P	P	-	-	-	-		г					-	<del></del>		+		+	$\vdash$	-	+
ns, in accordance with the provisions of article 59-F	P		P	P				P	Р	P	P	P	P	P	P	P	P	P	P	P	P	P		Р					$\vdash$	P	P	P	P	P	P	Р	+
ildlife or game preserve, regulated shooting ground licensed by the Maryland Wildlife Administration, and other																														$\vdash$					$\Box$		+
nservation areas	Р	Р	Р	Р	Р																										'					1	
lvanced technology and biotechnology																																					
boratories																																					
anufacturing and assembly of medical, scientific or technical instruments, devices and equipment																																					
lanufacturing, compounding, processing or packaging of cosmetics, drugs, perfumes, pharmaceuticals, toiletries and roducts resulting from biotechnical and biogenetic research and development																																					

			cc	MMERCIA	L ZONES							INI	DUSTRIAL	ZONES					CE	NTRAL BU	JSINESS DI	ISTRICT ZO	ONES					NSIT STATION MENT AREA ZONES			RESIDENT	FIAL MIXE	D USEDEV	/ELOPMEN	IT ZONES			MIXED US CENTER	SE TOWN ZONES	MINERAL RESOURC RECOVERY	TRAN	SIT ORIENTI ZON		USE
Σ O	P.	C-P	C-1	C-2	C-3	C-4	C-5	C-6	Σ ± 0	Country inn	71	1.2	-33	F4 R&D	LSC	(S)	(0)	(s) CBD-R1	(0)	(S) (SD-1	0) (	CBD-2	O) (	S) (C	) (S)	CBD-R2	TS-R	TS-M	RMX-1	RMX-2	RMX-2C	RMX-3	RMX-3C	RMX-1/TDR	RMX-2/TDR	RMX-2C/TDR	RMX-3/TDR	MXTC	MXTC/TDR	MRR		(O)	(2) TOMX-	
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Р	9	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	P P	P	Р	Р	Р	P	P	Р	Р	Р	P F	P	P	P	P	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р					
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P I	<b>D</b>	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	P P	P												Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р					
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			AGRIC	ULTURAL	ZONES														RE	SIDENTIA	L ZONES													
LAND USE	RURAL	RC	LDRC	RDT	RS	RNC	몵	RE-2 RE-2C	RE-1	R-200	R-150	R-90	R-60	RE-2/TDR	RE-2C/TDR RE-1/TDR	R-2	R-150/TDR	R-90/TDR	R-60/TDR	R-40	RMH	RMH-200 RT-6.0	RT-8.0	RT-10.0	RT-12.5	RT-15	R-4 PLEX	R-30	R-20	R-10	R-H	R-30/TDR	R-20/1 DR	C-T
Accessory apartment	SE	SE	SE	SE		SE	SE	SE SE	SE	SE	SE	SE	SE	SE	SE SE	SE	SE	SE	SE			SE												
Accessory dwelling for agricultural workers  Accessory dwellings	SE.	SE.	SE	SE SE	CE	CE			_											-			_						-	$\rightarrow$			_	
Apartment hotels	3E	JE.	3E	3E	3E	3E																							-	-+				
Bed-and-breakfast lodging with 3, 4 or 5 guest rooms	SE	SE	SE	SF	P	SE	SF	SE SE	S S F	SE	SE	SF	SE	SE	SE SE	SF	SE	SF	SF			SE							-	-				
Bed-and-breakfast lodging with one or 2 guest rooms	P	P	P	D D	P			P P		P	P	P	SE	P	P P	P	P	P	SE			P							-	-				
Boardinghouses								<del>`                                    </del>			SE	SE					SE	SE		SE		•					SE	Р	Р	Р	Р	P I	p p	
Caretaker or watchkeeper's dwellings											- 55	J.	J.				- 52	- 52	J.	J.							J.					<u> </u>		
Dwellings																																		Р
Dwellings, carriage house																																		
Dwellings, for caretakers or watchkeepers and their families or for bona fide agricultural operations																																		
Dwellings, fourplex																											Р		=					
Dwellings, multiple-family																												Р	Р	P	Р	P	P F	
Dwellings, one-family attached																						P	P	P	P	P								
Dwellings, one-family detached	P	P	Р	Р	Р		Р	P P	P	P	P	P	P	P	P P	P	P	P	P	Р		P P	P	Р	P	P	Р	P	Р	Р	Р	P	P P	
Dwellings, one-family semi-detached						Р	Р													P		P	P	Р	P	P	Р							
Dwellings, triplex																											P							
Dwellings, two-family detached																				P							P							
Embassy								P P			P	P	P	P	P P		P	P	P	P		P					P	P	P	P	P	P	P P	
Farm tenant dwelling		P		P				P	P	P	P	P	P	P	P	P	P	P	P	P		Р					P		$\overline{}$					
Farm tenant mobile home, more than one but less than 4	SE	SE	SE	SE		SE	SE																											
Farm tenant mobile home, one only								P P	P	P				P	P P	P						P												
Fraternity and sorority houses																												SE	SE	SE			E S	
Group home, large	SE		SE	SE	SE			SE SE	SE SE	SE	SE	SE	SE	SE	SE SE	SE	SE	SE		SE		SE SE	_	SE	SE	SE	SE	Р	Р	P	Р	PI		
Group home, small	P		P	P	P		Р	P P	P	P	P	P	P	Р	P P	P	P	P		P		P P	P	P	P	Р	P	P	Р	Р	Р	P	P P	
Guest houses, as accessory uses	P	P	Р	Р	P	P		P P	P	P	P	P	P	P	P P	P	P	P	P	Р		P					Р		$\longrightarrow$	$\rightarrow$				
Guest rooms Guest rooms, for not more than 2 roomers in any dwelling unit		-				_		P	P		P	P		P	D			-	P	_			P		P	D	_	P				D I	D D	
	Р	Р	Р	Р	Р	Р	Р	Р	P	P	P	Р	P	Р	P	P	P	P	Р	Р		P P	P	P	P	Р	Р	Р	P	P		Р	PF	
Hotel or motel  Housing and related facilities for elderly or handicapped persons								CE CE	- 65		CE	CF	C.F.	CE	CE CE	CE	C.F.	CF.	CF.	CE		C.F.								-+			_	
Housing and related facilities for senior adults or persons with disabilities	CE	C.F.	CF.		SE	SE	SE	SE SE	SE	SE	SE	SE	SE	SE	SE SE	SE	SE	SE	SE	SE		SE SE	SE	SE	SE	SF		P	P	P	_		D D	
Life care facility	SE	SE SE	SE		SE			SE SE	- CF	CE	SE	CF	C.E.	CE	SE SE	CF	C.F.	CF	SE	SE		SE SE			SE	SE					SE	SE S	E SI	
Mobile homes, double wide			P	D	D	P							D P		D D				D D	SE		D DE	3E	3E	3E	3E		SE	3E	3E	SE .	SE S	E 31	
Mobile homes, single-wide	P	P	Р	Р	Р	Р	r	PP	P	P	P	Р	Р	Р	PP	P	P	P	Р			SE								-				
Motels Motels																						3E							-	-+				
Personal living quarters																												D/CE	D/SE	P/SE F	D/SE D	/ce n/	CE D/	c .
Registered living unit	D	P	D	D	D	P	P	D D	D	D	D	D	D	D	D D	D	D	D	D			P						P/ JE	F/ 3E	P/ JE I	P/ SE P	/ 3E   P/	JE P/	E
Tourist cabin camps	-	-	-	Г	-	-	•	r r				г	r	-	r r		-	-	-			-							-	-			_	
Tourist homes									_							_							_						-	-			_	P
Townhouse						P	Р															P	P	P	P	P			-	-				
Agricultural uses								p p	Р	Р	Р	Р	Р	P	P P	Р	Р	Р	Р	Р		P		· ·			P	Р	Р	Р	Р	P	p p	
Christmas trees, sales of, between 12/5 and 12/25																																		
Country market							_	SE SE	SE	SE				SE	SE SE	SE						SE												_
Dairy products processing																																		
Equestrian facility								SE SE	SE	SE	SE			SE	SE SE	SE	SE					SE												
Farm market								P P							P P																			
Farm products, sale of																																		
Horticultural nurseries and commercial greenhouses																																		
Rock or stone quarries																																		
Rock or stone quarry, as a temporary use	SE	SE	SE	SE																														
Sand gravel or clay pits																																		
Sand or gravel pits																																		
Sand, gravel or clay pit, or extraction of other natural materials, as a temporary use	SE	SE	SE	SE																														
Stockyards																																		
Stone or rock quarries										P/ SE	E					P/ SI	E																	
Temporary structures, including wayside stands for the sale of farm products																												SE	SE	SE		SE S	E S	

COMMERCIAL ZONES	INDUSTRIAL ZONES	CENTRAL BUSINESS DISTRICT ZONES	TRANSIT STATION DEVELOPMENT AREA ZONES RESIDENTIAL MIXED USEDEVELOPMENT ZONES	MIXED USE TOWN CENTER ZONES MINERAL RESOURCE RECOVERY ZONES
C-O C-O C-O C-A	H H H H L C	3     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)     (2)     (0)	TS-M RWX-1 RWX-2 RWX-2C RWX-3C RWX-3/TDR RWX-2/TDR RWX-2/TDR	MXTC/TDR (S) (S) (D) (S) (O) (S) (O) (D) (D) (D) (D) (D) (D) (D) (D) (D) (D
P P				
P/SE P SE P/SE SE SE P	SE SE SE	P P P P P P P P P	P P P P P P P P P	P P P P P
			P P P P P P P P P P P P P P P P P P P	
		P P P P P	P P	
		P P P P P P P P P P P P	P P P P P P P P P	P P P P P
P		P P P P P P P P P P P P P P P P P P P	P P P P P P P P P P P P P P P P P P P	
P	SE SE	P P P P P P P P P P P P P P P P P P P	P/SE P/SE SE SE SE	P P P P P P P P P P P P P P P P P P P
		P P P P P P	SE SE	P P P P P
P/SE P/SE P/SE P/SE		P/SE P/SE P/SE P/SE P/SE P/SE P/SE P/SE	P/SE P/ SE	P P P P
P P P	P P P			
	P P			
P P P	P			
	P			P
	SE SE			P

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			AGRICI	ULTURAL ZO	NES														RESIDENT	TIAL ZONE	;												
LAND USE																		T															•
LAND OSL	AL		U			/TDR	. 7	Į,		500	150		2/TDR	2C/TDR	1/TDR	00/TDR	SO/TDR	MUT/06	5	_	1-200	0:	10.0	2.5	15	PLEX					30/TDR	20/ TER 10/TDR	
Telefolius and house	M. M.	22	LDR	TD1	RN RN	RNO	鉴	RE-2	. RE-1	2	4	R-90	Ä	Ä	. F	R-2	R-1	2 4	ž	Ϋ́	RMI A	R-8-	RT-7	RT-7	RT-	R-4	R-30	R-20	R-10	쓘	م م	2 2	다.
Adult foster care home Ambulance or rescue squads	Р	Р	Р	Р	РР	Р	Р	P	Р	Р	Р	P P	P	Р	Р	Р	PF	, ,	, р		P					<u> </u>	Р	Р	Р	P	P	, P	
Ambulances or rescue squads, privately supported, nonprofit																											SE	SE	SE		SE S	E SE	
Ambulances or rescue squads, publicly supported	P		P	P	P P	Р	P	P	P		Р	P P		P			P F	P	Р		Р					Р	Р	Р	Р	Р	P	P	Р
Animal boarding place Appliance repair shops	SE	SE	SE	SE	SE SE	SE	SE	SE	SE	SE			SE	SE	SE	SE										$\rightarrow$							
Art, music and photographic studios																										-							
Automobile filling stations																																	
Automobile fluid maintenance stations																																	
Automobile rental  Automobile rental services, excluding automobile storage and supplies																			_							$\rightarrow$							
Automobile repair and services																										-							
Automobile repair and services, indoor																																	
Automobile storage lots									1																								
Automobile, light truck and light trailer rentals, outdoor									+ -								_					_				$\rightarrow$							
Automobile, truck and trailer rentals  Automobile, truck and trailer rentals, outdoor																										+							
Banks and financial institutions																										-+							Р
Barber and beauty shops																																	SE
Beauty shops, special provision									1																								
Blacksmith shop Boat repair and services							_												_			_				$\rightarrow$							
Car wash																										-							
Catering facility, outdoors										SE						SE										$\neg$							
Cemetery	SE	SE	SE	SE	SE SE	SE		_					SE																				
Charitable or philapthropic institutions		05	0.5	0.5	05 05		SE					SE SE		_	SE	_	-	E SI			SE					$\rightarrow$	SE	SE	SE	SE :	SE S	E SE	
Charitable or philanthropic institutions  Child day care facility in a commercial or mixed use building: Child day care center	SE	SE	SE	SE	SE SE	SE	SE	SE	SE	SE	SE	SE SE	SE	SE	SE	SE	SE S	E SI	Ł		SE					$\rightarrow$							P
Child day care facility in a commercial or mixed use building: Family day care home																										-+							
Child day care facility in a commercial or mixed use building: Group day care home																																	
Child day care facility in a residential building: Child day care center																																	
Child day care facility in a residential building: Family day care home																										$\rightarrow$							
Child day care facility in a residential building: Group day care home  Child day care facility: Child day care center	SE	SE		SF	SE SE	SE	SE	SE	SF	SF	SF	SE SE	SE	SF	SF	SF	SE S	F SI	E SE		SE					SE	SE	SF	SF	SF :	SF S	E SE	P
Child day care facility: Family day care home	P	P		P	P P	P	P	P	P	P	P	P P	P	P	P	P	P F	) p	p p		P					P	P	P	P	P	P	P P	P
Child day care facility: Group day care home	P	Р		P	P P	P	P	P	P	P	P	SE SE	P	P	P	P	P S	E SI	E SE		SE					SE	SE	SE	SE	SE :	SE S	E SE	Р
Churches, memorial gardens, convents, monasteries and other places of worship	Р	Р	P	Р	P P	P	P	P	P	Р	Р	P P	P	P	Р	Р	P F	P	Р		Р					P	Р	Р	P	Р	P	P	
Clinic Clinic, medical or dental for 5 or more medical practitioners							_			SE	SE.	SE SE				SE.	SE S	E SI	E		SE	_				$\rightarrow$	SE	CE	SE		SE S	E SE	Р
Clinic, medical or dental for no more than 4 medical practitioners										SE		SE SE	_			SE		E SI			SE					-	JL	JL	JL .		3L 3		
Clinics, medical or dental																																	
Community redevelopment areas							SE		SE	SE	SE	SE SE	SE		SE	SE	SE S	E SI	E SE		SE					SE	SE	SE	SE	SE :	SE S	E SE	
Computer programming and software services including data banks and data retrieval									+ +				-													$\rightarrow$					_		
Conference centers: With lodging facilities  Conference centers: Without lodging facilities									+ +	-						-	_	_				_				$\rightarrow$	-			_	_		
Corporate training center																										$\overline{}$							
Corporate, administrative or business offices for companies principally engaged in health services, research and																																	
development or high technology industrial activities	0.5	05	0.5	0.5	05 05		0.5		0.5		0.5	05 05		0.5	0.5		05 0				0.5						0.5	0.5	0.5				
Day care facility for more than 4 senior adults and person with disabilities  Day care facility for not more than 4 senior adults and persons with disabilities	SE P	SE P	SE P		SE SE				SE P			SE SE		SE P					E SE		SE P					SE P	SE	SE	SE	SE :	SE S	E SE	
Day care facility for senior adults and persons with disabilities	•	-			•		<u> </u>	<u> </u>	<u> </u>	•	•		<u> </u>	<u> </u>		•	<del></del>				-					-							Р
Day care facility for up to 4 senior adults and persons with disabilities																											Р	Р	Р	Р	Р	Р	
Domiciliary care for no more than 16 senior adults			-	0.5	0.5				1 -	0.5					0.5		0.5	_			0.5							-	-	0.5			
Domiciliary care home for more than 16 residents  Dry cleaning and laundry establishments, consisting of no more than 3,000 square feet of gross floor area	SE	SE	SE	SE	SE SE	SE	SE	SE	SE	SE	SE	SE SE	SE	SE	SE	SE	SE S	E SI	E SE		SE	_				SE	SE	SE	SE	SE :	SE S	E   SE	SE
Dry cleaning and laundry establishments, consisting of no more than 3,000 square feet of gross floor area  Dry cleaning and laundry pick-up station										+	-					-						_				$\rightarrow$	-		-	-	-		SE
Duplicating services																										=							P
Educational institution																																	
Educational institutions, private	SE	SE	SE	SE	SE SE	SE	SE	SE	SE	SE	SE	SE SE	SE	SE	SE	SE	SE S	E SI	E SE	$\Box$	SE					SE	SE	SE	SE		SE S	E SE	P
Emergency health care facility  Express or mailing offices									+	-		-	-									_				-+							Р
Family burial sites	SE	SE	SE	SE			SF	SE	SE	SE			SE	SE	SE	SE	_					-		$\vdash$		+							
Fire stations, publicly supported	P		P		P P	Р					Р	P P					P F	P	Р		Р					Р	Р	Р	Р	Р	P	Р	Р
Funeral parlors or undertaking establishments				SE			SE		SE	SE	SE	SE	SE		SE	SE	SE S	E			SE												SE
Furniture or upholstery repair shops									1									_								$\rightarrow$							
General offices									1	1				1	1					1				1									

COMMERCIAL ZONES	INDUSTRIAL ZONES	CENTRAL BUSINESS DISTRICT ZONES	TRANSIT STATION DEVELOPMENT AREA ZONES RESIDENTIAL MIXED USEDEVELOPMENT ZONES	MIXED USE TOWN CENTER ZONES RECOVERY TRANSIT ORIENTED, MIXED USE ZONES
O-M C-0 C-P C-2 C-1 C-1 C-1 C-2 C-3 C-3 C-3 C-4 C-4 C-6 C-6 C-6 C-6 C-7	H2 H3 H8 D R&D R&D R&D R&D RS D RS D	(S) (O) (S) (O) (S) (O) (S) (O) (S) (O) (S) (O) (P P P P P P P P P P P P P P P P P P P	RIVIX-2 RIVIX-3 RIVIX-3 RIVIX-3/TDR RIVIX-2/TDR RIVIX-2/TDR RIVIX-3/TDR RIVIX-3/TDR	A
P SE P P P P P P P P P P P P P P P P P P	P P P P P	P P P P SE P P P P SE P P SE P P	P P P P P P P P P P P P P P P P P P P	P P P P P P P P SE SE SE SE SE SE
P         P         P         SE         P           SE         SE         SE         SE         SE	SE SE SE	P         P	P P P P P P P P P P P P P P P P P P P	P         P           P         P         P         P         P           SE         SE         SE         SE         SE
SE P P SE P	P P	SE P SE P SE P	P P P P P	SE         SE           P         P/SE         P         P         P         P           SE         SE
SE SE P			SE	
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Heliports

			CC	OMMERC	IAL ZONE	s							INDUSTI	RIAL ZONE	s						CENTRA	L BUSINE	SS DISTRI	ICT ZONES	i				TRANSIT DEVELOPMEN	r Station It area zones			RESIDENT	IAL MIXED	USEDEVELO	OPMENT Z	ONES			USE TOWN ER ZONES	MINERAL RESOURCE RECOVERY	TRAN	SIT ORIENT ZON		USE
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LAND USE	RURAL	ç	LDRC	RDT	S	RNC	RNC/TDR	RE-2	RE-2C	RE-1	R-200	R-150	R-90	RE-2/TDR	RE-2C/TDR	RE-1/TDR	R-200/TDR	R-150/TDR	R-90/TDR	R-60/TDR	R-40	RMH	RMH-200	RT-6.0	RT-8.0	RT-10.0	RT-12.5	RT-15	R-4 PLEX	R-30	R-20	R-10	R-H	R-30/1DR R-20/TDR	101
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Parking lots, automobile, commercial																																			$\overline{}$
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arking of automobiles, off-street, in connection with commercial uses	Р			Р				Р	P	P	Р		S	P	P	P	P			SE	SE		SE							SE :	SE	SE	S	E SE	ź 💮
arking of motor vehicle, off-street, in connection with any use permitted in a commercial zone.																																			$\overline{}$
arking of motor vehicles, off-street, in connection with any use permitted in the zone								Р	Р	Р	Р	Р	P I	Р	Р	P	P	Р	Р	Р	Р		Р	Р	Р	Р	Р	P	P	P	P	P	РГ	P	$\overline{}$
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bublic utility buildings and structures, telecommunications facilities																																			$\overline{}$
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ladio and television broadcasting stations and towers	SE	SE	SE	SE	SE			SE	SE	SE	SE	SE	SE S	SE	SE SE	SE	SE	SE	SE	SE	SE		SE	SE	SE	SE	SE	SE	SE	SE :	SE	SE	S'	E SE	E
tadio and television broadcasting studio																																			
Railroad tracks	Р	Р	Р	Р	Р			Р		Р	Р	Р	P I	P		P	P	P	Р	Р	Р		Р						Р	Р	Р	P	F	P P	
Railroad yards or roundhouses																																			
Rooftop mounted antennas and related unmanned equipment building, equipment, cabinets, or equipment room	Р	Р		Р		Р	Р																							Р	Р	Р	P P	P	
Solid waste transfer station, private																																			
Taxicab stand, not including storage while not in use																																			
Taxicab stands																																			
elecommunications facility	P/ SE	P/ SE	P/ SE	P/ SE	P/ SE	SE		P/ SE	P/ SE	P/ SE	P/ SE P	/ SE P	P/ SE P/	SE P/S	SE P/SI	E P/SI	E P/SE	E P/SE	P/ SE	P/ SE	P/ SE		P/ SE						P/ SE						
elephone and telegraph lines	Р	Р	Р	Р	Р	Р	Р	Р	Р	P	Р	Р	P I	P	P	Р	Р	P	Р	Р	Р		P	Р	Р	Р	Р	Р	Р	Р	P	Р	P P	P	
elephone and telegraph lines, underground																																			
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				COMMER	CIAL ZONE	:s							INDUSTRI	IAL ZONES						CENTRA	AL BUSINES	S DISTRICT	T ZONES						T STATION IT AREA ZONES			RESIDENT	IAL MIXED	USEDEVELO	PMENT Z	ONES			MIXED USE TOWN CENTER ZONES	MINERAL RESOURCE RECOVERY	TRAN	ISIT ORIEN ZOI	TED, MIXED USE NES	E
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## **Development Standards**

Development standards regulate the site layout, building placement, and size of structures. They include requirements such as lot size,

setbacks, density, height, coverage, and are located in tables and in text throughout the Code. To determine and analyze similarities and differences among zones, we have complied all of the information in one place.

### commercial and industrial development standards

**Area Requirements and Restrictions** 

	Minimum Tract Area Requirement (acres)	Maximum Tract Area Requirement (acres)	Minimum Net Lot Size (acres)	Minimum Lot Width at Street Line (feet)
C-T	(6.5.5.)	<b>(</b> , , , , , , , , , , , , , , , , , , ,		100 (for new construction)
O-M				,
C-O				
C-P	5		2	100
C-2				
C-2 Transit	0.92 (40,000 sf)		must meet area requirement	
C-3				
C-4				100 on arterial or major road
C-4 Optional			2	100 on arterial or major road
H-M	2			
Country Inn			2	
C-5				
C-6	40			
I-1				
I-2				
I-3	20 <u>or 2</u> (if combined with other I zones to create tract of 20 acres +) or less if recommended by mp		2	
I-3 Optional	20 <u>or 2</u> if combined with other I zones to create tract of 20 acres + (or less if recommended by mp)		determined at site plan	determined at site plan
1-4	10 or 2 if combined with I zones and is recommended by mp		1 (and each may only have one main building)	
R&D			2	
LSC				
MRR w/o minerals			5	300 (also 300 at building line)
MRR w/minerals			10 <u>or</u> sum of extraction area plus area for setback & perf. stnds.	

Coverage Requirem	ents and Restrictions		Density			
	Maximum Building and Accessory Structure Coverage (% of lot)	Minimum Green Area (% of lot)	Minimum Public-Use Space (% of net lot)	Minimum Public Dedication (% of net lot)	Maximum Units Per Acre	Maximum Floor Area Ratio
С-Т	30 (for lots under 12,000 square feet); 35 for others	10				0.5 (for new construction)
O-M	60 <u>or</u> 75 if lot is over 1/2 acre and 15% green area is provided and 80% of additional floor area is for parking	10 <u>or</u> 15 if 75% coverage is requested				1.5
C-O						1.5 (up to 3 with site plan)
C-P	20 <u>or</u> 25 if all parking is structured	40				
C-1		10				
C-2		10				1.5 (up to 2.5 if only 1.0 is commercial located or the ground floor)
C-3	35 if auto-related use	10				
C-4	25	10				0.25 including cellar space not used for storage
C-4 Optional	35	10				0.75
H-M	25	45				1
Country Inn	10	50				
C-5		25				0.25
C-6	35 based on gta for tract within zone	20 based on gta				0.25 for buildings w/>50% retail excluding storage exceeding 35% of gross area devoted to retail; 0.5 including cella space not used for storage
I-1		10 (of gta) + 5% of net lot area for each story over 3				-
I-2		10 (of gta)				
1-3		35 (of gta)				0.5 (averaged over gta or lots in zone with covenants) up to 0.6 with

						tma resulting in trips equal to 0.5
I-3 Optional		35 (of gta)			8 units per acre for gta + MPDU and TDR densities up to 12.5 (unless mp recommends less)	0.6 non-residential (20% max retail/service, 60% min employment) up to density limits in mp
I-4		20 (of gta)				1
R&D		30 (of gta)				0.3 (averaged over gta); optional method - 0.5
LSC	25 <u>or</u> 50 if structure underground parkin provided		if for			0.3 (averaged over gta of lots in zone with covenants) up to 0.5 with tma
MRR w/o minerals	10					
MRR w/minerals	10	25				
С-Т	10	15 (for new construction) if the building has windows or apertures <u>or</u> if adjoining lot is residential	15 (for new construction) if the building has windows or apertures or if adjoining lot is residential		24 (for lots under 12,000 square feet 35 for others	;);
O-M	15	1 foot for every 3 feet of height if the building has windows or apertures <u>or</u> if adjoining lot is residential			60 <u>or</u> 72 if lot is ov 1/2 acre and 15% green area is provided and 80% additional floor are used for parking	1/2 acre and 15% green area is of provided and 80% of
C-O	in CBD: 0 <u>or</u> 70' from center line; out of CBD: 1/6 of height	in CBD: if adjoining lot is residential - equal to that setback; out of CBD: 1/4 height if the building has windows or adjoining lot is used for other than comm or indus	in CBD: if adjoining lot is residential - equal to that setback; out of CBD: 1/4 height if the building has windows or adjoining lot is used for other than comm or indus	3	42 (or up to an average of 97 with site plan)	3 (or up to 8 with site plan)

Yards, Setback	cs, Heights						
	Minimum Building Setback from Street (feet)	Minimum Building Side Setback from Adjoining Lot (feet)	Minimum Building Rear Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	No yard shall be less than (feet)	Maximum Building Height for Main Building (feet)	Maximum Number of Stories for Main Building (stories)
С-Р	150 from limited access; 100 from major or arterial; 50	50 from residential; 30 from I-3				50 +1/foot by which setback exceeds minimum required by adjacent zone; none if more than 300 feet from lot line	up to 3 additional floors if 60% of those floors is dedicated to parking and the average height of the floors is 11 feet
C-1	10; none if "mainstreet" is recommended by master plan; equal to majority of lots on that street but >=10 or 60 from center line	if residential - equal to that setback	if residential - equal to that setback		10	30 with specific measurement criteria	
	Minimum Building Setback from Street (feet)	Minimum Building Side Setback from Adjoining Lot (feet)	Minimum Building Rear Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	No yard shall be less than (feet)	Maximum Building Height for Main Building (feet)	Maximum Number of Stories for Main Building (stories)
C-2	10; none if "mainstreet" is recommended by master plan	if residential - equal to that setback	if residential - equal to that setback		3	42 (up to 60 if an expansion; up to 75 if 60% of FAR is residential and development is 300 feet from one-family residential use)	3 (up to 5 if expansion)

Yards, Setbacks, He	ights						
	Minimum Building Setback from Street (feet)	Minimum Building Side Setback from Adjoining Lot (feet)	Minimum Building Rear Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	No yard shall be less than (feet)	Maximum Building Height for Main Building (feet)	Maximum Number of Stories for Main Building (stories)
C-2 Transit	none unless confronting use is residential - then 3' per 1' of height over 75' from residentially zoned property	if residential - 3' per 1' of height over 75'	if residential - 3' per 1' of height over 75'			180	
C-3	10 <u>or</u> 70 from center line; for auto-related: 50 if r.o.w. is 120'+ (unless Board reduces at site plan)	if residential - equal to that setback; for arena or stadium: 1' for every foot above 42'; for auto-related: 10 to comm/indus, 50 to res, 50 from controlled highway or limited freeway	if residential - equal to that setback; for arena or stadium: 1' for every foot above 42'; for auto-related: 10 to comm/indus, 50 to res, 50 from controlled highway or limited freeway			42 (except for arena or stadium); 84 for auto sales and service where recommended in master plan	7 for auto sales and service where recommended in master plan
C-4	10 <u>or</u> 60 from center line <u>or</u> equal to setback of majority of lots fronting on that street, but not less than 10	if residential - equal to that setback; if building has windows or apertures - equal to adjoining setback	if residential - equal to that setback; if building has windows or apertures - equal to adjoining setback			30	2
	10 <u>or</u> 60 from center line <u>or</u> equal to setback of majority of lots fronting on that street, but not less	if residential - equal to that setback or to height of building, whichever is greater	if residential - equal to that setback or to height of building, whichever is greater				
C-4 Optional	than 10					40	3
		if residential: equal to the hightest point of the building; otherwise, equal to	if residential: equal to the hightest point of the building; otherwise, equal to				
H-M		1/3 the highest point	1/3 the highest point				15

Minimum Building Setback from Street (feet)	Minimum Building Side Setback from Adjoining Lot (feet)	Minimum Building Rear Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	No yard shall be less than (feet)	Maximum Building Height for Main Building (feet)	Maximum Number o Stories for Main Building (stories)
50 (or less if the council approves such for an existing building on a development plan)	75 (or less if the council approves such for an existing building on a development plan)	75 (or less if the council approves such for an existing building on a development plan)				2.5 (except for existing buildings); accessory buildings: (except for existing buildings)
30 from major highway/r.o.w. =>100'; 15 from r.o.w. <100'	30 from residential; 15 from com. or indus	30 from residential; 15 from com. or indus			35	
from public road with confronting residential: building - 200 (waived down to 150), parking 100; interchange ramp: 100 for buildings, 50 for parking; existing or planned limited access freeway: 200 for buildings (parking structures may be 100), 100 for parking; major highway: 100 for building and parking; arterial road and transitway: 25 for building and parking; other roads: 20 for building and parking	if residential: 200 for buildings, 100 for parking; if com or indus: 20 for buildings and parking	if residential: 200 for buildings, 100 for parking; if com or indus: 20 for buildings and parking			40 (excluding parapets); 100 for "principally" office	
	if residential - equal to that setback <u>but</u> with additional height	_			42 up to 120	3 up to 10
10 <u>or</u> 60 from center line	<ul> <li>1/2 height of building</li> </ul>	<ul> <li>1/2 height of building</li> </ul>		10	w/additional requirements	w/additional requirements
10 <u>or</u> 60 from center line	if residential - equal to that setback	if residential - equal to that setback		10	70	5
	Setback from Street (feet)  50 (or less if the council approves such for an existing building on a development plan) 30 from major highway/r.o.w. =>100'; 15 from r.o.w. <100' from public road with confronting residential: building -200 (waived down to 150), parking 100; interchange ramp: 100 for buildings, 50 for parking; existing or planned limited access freeway: 200 for buildings (parking structures may be 100), 100 for parking; major highway: 100 for building and parking; arterial road and transitway: 25 for building and parking; other roads: 20 for building and parking	Setback from Street (feet)  50 (or less if the council approves such for an existing building on a development plan)  30 from major highway/r.o.w. 30 from residential; 15 from r.o.w. <100' 15 from com. or indus  from public road with confronting residential: building - 200 (waived down to 150), parking 100; interchange ramp: 100 for buildings, 50 for parking; existing or planned limited access freeway: 200 for buildings (parking structures may be 100), 100 for parking; major highway: 100 for building and parking; arterial road and transitway: 25 for building and parking; other roads: 20 for building and parking; other roads: 20 for building and parking if residential - equal to that setback but with additional height - 1/2 height of building	Setback from Street (feet)  Side Setback from Adjoining Lot (feet)  Rear Setback from Adjoining Lot (feet)  For less if the council approves such for an existing building on a development plan)  So from major highway/r.o.w. 30 from residential; 200 for public road with confronting residential: building - 200 (waived down to 150), parking 100; interchange ramp: 100 for building and parking; arterial road and transitway: 25 for building and parking; arterial road and transitway: 25 for building and parking; other roads: 20 for building and parking; of the roads: 20 for building and parking if residential: equal to that setback but with additional height - 1/2 height of building with additional height - 1/2 height of building building council approves such for an existing building not a development plan) and evelopment plan) and evelopment plan)  30 from residential; 30 from residential; 15 from com. or indus  15 from co	Setback from Street (feet)  Side Setback from Adjoining Lot (feet)  So (or less if the council approves such for an existing building on a development plan)  30 from major highway/r.o.w.  =>100'; 15 from 15 from com. or indus  from public road with confronting residential; building - 200 (waived down to 150), parking 100; interchange ramp: 100 for buildings, 50 for parking; existing or planned limited access freeway: 200 for building and parking; other roads: 20 for building and parking; other roads: 20 for building and parking if residential - equal to that setback but with additional height 10 gr 60 from center line  Setback between Adjoining Lot (feet)  Rear Setback from Adjoining Lot (feet)  Setback between Buildings Capskift he council approves such for an existing building and development plan)  75 (or less if the council approves council approves such for an existing building on a development plan)  development plan)  development plan)  30 from residential; 30 from cresidential; 15 from com. or indus  15 from co	Setback from Street (feet)  Sold Setback from Adjoining Lot (feet)  Sold (or less if the council approves such for an existing building on a development plan)  30 from major highway/r.o.w. 30 from residential; 30 from residential; 15 from com. or indus  sold parking; arterial road and transitway: 25 for building and parking; other roads: 20 for buildings and parking other roads: 20 for buildings and parki	Setback from Street (feet)  Adjoining tot (feet)  Setback between than (feet) Height for Main Building (feet)  Sources if the council approves such for an existing building on a development plan) development plan)  30 from major highway/r.o.w. 30 from residential; 30 from com. or 15 from public road with confronting residential: building - 200 (walved down to 150), parking 100; interchange ramp: 100 for buildings, 50 for parking; existing or planned limited access freeway: 200 for buildings floarking; structures may be 100), 100 for parking; if com or and transfixway: 25 for building and parking; other roads: 20 for building and parking; other roads: 20 for building and parking; if com or indus: 20 for buildings and parking and parking; if cities in that setback but with additional height buildings (particular to the substance of the particular to the particular to the substance of the particular to the parti

	Minimum Building Setback from Street (feet)	Minimum Building Side Setback from Adjoining Lot (feet)	Minimum Building Rear Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	No yard shall be less than (feet)	Maximum Building Height for Main Building (feet)	Maximum Number of Stories for Main Building (stories)
I-3 Optional		limited access freeway - 100 for buildings, 50 for parking; major highway - 50	if recommended one- family residential - 100; if recommended multi-family residential - 30 for residential, 100 for commercial; if recommended non- residential - 25; if non-residential - 25	if recommended one- family residential - 100; if recommended multi-family residential - 30 for residential, 100 for commercial; if recommended non- residential - 25; if non-residential - 25	30		100
I-4	50 from railroad, utility r.o.w., arterial with confronting residential, limited-access freeway, parkway, or major highway; 25 from arterial with confronting commercial and internal roads, streets or private r.o.w.; for parking: 25 from limited access freeway, major highway, arterial, railroad or utility r.o.w., local street or internal private drive	if residential - 100, com or indus - 10; 50 for parking abutting residential, 10 for parking abutting com or indus	if residential - 100, com or indus - 10; 50 for parking abutting residential, 10 for parking abutting com or indus			42	3
R&D	from 25 to 200 with footnotes, waivers, etc.; may be less under optional method	from 20 to 200 with waivers and caveats; may be less under optional method	from 20 to 200 with waivers and caveats; may be less under optional method	30		50; optional metho 75	d -
LSC	25 from interior roads; 50 from perimeter roads; 50 from entry gateway	20 from interior lot	20 from interior lot line			100	

	Minimum Building Setback from Street (feet)	Minimum Building Side Setback from Adjoining Lot (feet)	Minimum Building Rear Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	No yard shall be less than (feet)	Maximum Building Height for Main Building (feet)	Maximum Numbe of Stories for Mair Building (stories)
MRR w/o minerals	50 (including corner lot side street)	20 each, 40 total	35			50 (no limit for ag buildings)	
MRR w/minerals	"amount sufficient to achiever the perfomance standards" with some exclusions - set at development plan	"amount sufficient to achiever the perfomance standards" with some exclusions - set at development plan	"amount sufficient to achiever the perfomance standards" with some exclusions - set at development plan			90 <u>or</u> projection of 5% from zone boundary (except for some railrod structures)	
Plans Required	· ·	· ·					
	MPDU	units Required	Development Pla	n Required	Site Plan Required		
C-T					yes		
O-M					yes		
C-O					if additional height request	ed	
C-P					yes		
C-1					if > 15 acre tract area		
C-2	yes				sometimes		
C-2 Transit	yes				yes		
C-4							
C-4 Optional					yes		
H-M				·	yes		
Country Inn			yes	·	yes		
C-5		·	·				
	·						·

### Plans Required

	MPDU units Required	Development Plan Required	Site Plan Required	
I-1	2 2 2 3 4 2 2		yes	
I-2				
I-3			yes	
I-3 Optional			yes	
I-4			if optional method	
R&D			yes	
LSC			yes	
MRR w/o minerals		yes	yes	
MRR w/minerals		yes	yes	

## cbd development standards

Area Requirements and Restrictions Coverage Requirements and Restrict	tions				
	Minimum Net Lot Size (acres)	Maximum Building and Accessory Structure Coverage (% of lot)	Minimum Green Area (% of lot)	Minimum Public-Use Space (% of net lot)	Minimum Recreation Spac (% of net lot)
CBD-0.5 Optional	0.41 (18,000 square feet) (may be less if recommended in mp or if combined with another lot under density transfer provisions			20	
CBD-R1	"sufficient net area to provide 150 sf for each apartment unit and 75 sf for each hotel unit"	75	setbacks must be maintained as green area	10 (5 to accommodate MPDUs; 0 to accommodate MPDUs and workforce housing, if 5 is provided off- site)	
CBD-R1 Optional	0.41 (18,000 square feet) (may be less if recommended in mp or if combined with another lot under density transfer provisions			20 (except for non-profits)	
CBD-R2	"sufficient net area to provide 150 sf for each apartment unit and 75 sf for each hotel unit"	75	setbacks must be maintained as green area	10	
CBD-R2 Optional	0.41 (18,000 square feet) (may be less if recommended in mp or if combined with another lot under density transfer provisions			20	

# Area Requirements and Restrictions Coverage Requirements and Restrictions

	Minimum Net Lot Size (acres)	Maximum Building and Accessory Structure Coverage (% of lot)	Minimum Green Area (% of lot)	Minimum Public-Use Space (% of net lot)	Minimum Recreation Space (% of net lot)
			setbacks must be maintained		
CBD-1		75	as green area	10	
CBD-1 Optional	0.41 (18,000 square feet) (may be less if recommended in mp <u>or if</u> combined with another lot under density transfer provisions			20 (except for expansion of a telephone communications center)	
			setbacks must be maintained		
CBD-2		75	as green area	10	
	0.41 (18,000 square feet) (may be less if recommended in mp <u>or if</u> combined with another lot under density				
CBD-2 Optional	transfer provisions			20	
CBD-3		75	setbacks must be maintained as green area	10	
<u> </u>	0.41 (18,000 square feet) (may be less if recommended in mp or if combined with another lot under density		as green area	10	
CBD-3 Optional	transfer provisions			20	
					20; 25 for lots over 40,000 sf (not applicable to hotel, motel, and non-residential
TS-R				10	uses)
TS-M				10	0; 25 for developments with 50 or more units
Density					
		Maximum Units Per Acre		Maximum Floor Area Ratio	
CBD-0.5		35 + MPDU bonus if 100% res		0.5 non-res (subject to site plar Enterprise Zone, 1 total	
CBD-0.5 Optional		100		if com only: 1; if mixed: 1 non-r 1.5 total	res (not to exceed 67% of gfa),
CBD-R1		43 + MPDU bonus if 100% res		1 non-res, 1 total (subject to sit	te plan if exceeded)

	Maximum Maximum	Units Per Acre	Maximum Floor Ar	ea Ratio	
CBD-R1 Optional	125		if mixed: 0.6 non-re non-profit, 3 tota	es (not to exceed 20% of gfa) up to 1.2 if	
CBD-R2	80 + MPD	U bonus if 100% res	1 non-res, 1 total (I non-res on sites of	imited to 450,000 gross square feet of 10 acres or more)	
			if mixed: 1 non-res	(5% of gfa must be com but may not oss square feet on sites of 10 acres or	
CBD-R2 Optional	200			vers and exceptions for hotels exist)	
CBD-1	43 + MPDI	U bonus if 100% res		subject to site plan if exceeded)	
CBD-1 Optional	125		, , ,	o 2.3 for existing telephone); if mixed xceed 67% of gfa), 5 total	
CBD-2	80 + MPDI	U bonus if 100% res	2 non-res, 3 total (s	subject to site plan if exceeded)	
CBD-2 Optional	200		if com only: 4; if mi gfa), 5 total	xed: 3 non-res (not to exceed 60% of	
CBD-3	120 + MPI	DU bonus if 100% res	3 non-res, 4 total (subject to site plan if exceeded)		
CBD-3 Optional	200		if com only: 6; if mi gfa), 8 total	xed: 5 non-res (not to exceed 62.5%	
TS-R	150		2.5		
TS-M			3		
Yards, Setbacks					
	Minimum Building Setback from Street (feet)	Minimum Building Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	No yard shall be less than (feet)	
CBD-0.5	1 for every 3' of height above 30'	15 if building has windows, etc. or if adjoining lot is res			
CBD-0.5 Optional					
200.04	1 for every 6' of height above 30';	15 if building has windows, etc. or if adjoining lot is res; if 143' high or less - 10; if >143' high - 10 + 1'			
CBD-R1	50 from center line	per 1' of additional height			
CBD-R1 Optional		15 if building has windows, etc. or			
		if adjoining lot is res; if 143' high			
CBD-R2	1 for every 6' of height above 30'; 50 from center line	or less - 10; if >143' high - 10 + 1' per 1' of additional height			
CBD-R2 Optional					

Yards, Setbacks		2011 2011 201 11		
	Minimum Building Setback from Street (feet)	Minimum Building Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	No yard shall be less than (feet)
CBD-1 Optional				
		if adjoining lot is outside of CBD -		
		equal to that required by the		
		recommended zoning in an mp; if		
		proposed building has or doesn't		
		have windows and adjoins res - 1 for every 2' of height, 15 min; if		
		proposed building has windows		
		and adjoins com or indus - 15; if		
		proposed building has no		
		windows and adjoins no-res with		
		windows, etc 15 (may be		
		reduced by board during site plan	2x setback required from	
CBD-2	1 for every 6' of height above 30'	review limited to setbacks)	adjoining lot	
CBD-2 Optional				
		if adjoining lot is outside of CBD -		
		equal to that required by the		
		recommended zoning in an mp; if		
		proposed building has or doesn't		
		have windows and adjoins res - 1		
		for every 2' of height, 15 min; if		
		proposed building has windows		
		and adjoins com or indus - 15; if		
		proposed building has no windows and adjoins no-res with		
		windows, etc 15 (may be		
		reduced by board during site plan	2x setback required from	
CBD-3	1 for every 6' of height above 30'	review limited to setbacks)	adjoining lot	
CBD-3 Optional				
TS-R				
TS-M				
leight				
	Maximum Building Height for Main Building	•	e Plan	
	(feet)	Plan Required Plan Req Required	quired	

CBD-0.5	45; 35 if adjoining or confronting a res zone of less than 15 dua; + 8 for mechanical structures		for waiver of setbacks	
CBD-0.5 Optional	60 up to 90 if certain conditions are met	yes	yes	
	60; 35 if adjoining or confronting a res zone			
CBD-R1	of less than 15 dua; + 8 for mechanical		yes	
CBD-R1 Optional	60 up to 143 if certain conditions are met	yes	yes	
CBD-R2	60: + 8 for mechanical		ves	

Height				
	Maximum Building Height for Main Building (feet)	Development Plan Required	Project Plan Required	Site Plan Required
	143 up to			
	200 if certain conditions			
CBD-R2 Optional	are met	yes	yes	
	60; 35 if adjoining or			
	confronting a res zone of			
CBD-1	less than 15 dua; + 8 for mechanical			for waiver of setbacks
- CDD 1	60 up to 90 if certain			Tot waiver of seconds
	conditions are met up to			
	143 if certain other			
CBD-1 Optional	conditions are met		yes	yes
CBD-2	60; + 8 for mechanical			for waiver of setbacks
	143 up to 200 if certain			
CBD-2 Optional	conditions are met		yes	yes
CBD-3	72			for waiver of setbacks
	143 up to 200 if certain			
CBD-3 Optional	conditions are met		yes	yes
TS-R		yes		yes
TS-M		yes		yes

### mixed use

Coverage Requirements and Restrict	Minimum Net L	ot Size (acres)	Maximum Building and Accessor	-	rea or Outside		n Public-Use Space
			Structure Coverage (% of lot)	Amenity Area (% of lot)		(% of net	t lot)
RMX-1, RMX-2, & RMX-3 Standard							
RMX-1, -2, & -3/TDR Standard							
RMX-2C, -2C/TDR, & -3C Standard							
RMX-1 & RMX-1/TDR Optional				15% in commercia residential porition	•		
RMX-2, RMX-2/TDR, RMX-2C, & RMX-2C/TDR Optional				15% in commercia residential porition	•		
RMX-3 & RMX-3/TDR Optional				20% in commercia residential portion	•		
RMX-3C Optional				10% in commercia residential portion	•		
RMX-2C, RMX-2C/TDR, & RMX-3C Concept Plan							
MXTC & MXTC/TDR Standard							
MXTC & MXTC/TDR Optional							
TOMX & TOMX/TDR Standard			75			MPDUs)	pace is needed to provide
TOMX & TOMX/TDR Optional	0.41 (18,000 squis recommende	uare feet) unless less d in mp				MPDUs b	n to 0 if needed to provide out equal amount must be off-site within the same ation development area
	Densi	ty	Yards		Height		
Minimu (Acre)	m Units Per	Maximum Units (Per Acre)	Maximum Floor Area Ratio	Minimum Building Setback from Street (feet)	Minimum Build Setback from A Lot (feet)		Maximum Building Height for Main Buildir (feet)
RMX-1, RMX-2, & RMX-3 Standard							
RMX-1, -2, & -3/TDR Standard		11 <u>or</u> mp recommendation					

	Minimum Net Lo	Str	ximum Building and Accessory ucture Coverage of lot)	Minimum Green Are Amenity Area (% of lot)	a or Outside	Minimum Public-Use Space (% of net lot)
RMX-2C, -2C/TDR, & -3C Standard			0.3			
RMX-1 & RMX-1/TDR	if >30 acre site, 150 total units (not to exceed	30 in residential portion; 40 in commercial portion (not to exceed density in	0.35 com density (not to	com: 25; res: 30; none if in accord with mp	com: from on - 100, from of 50, from com res: from one 100, from oth from com or i (may be redu 50%)	ther res - or ind - 25; e-family res - ner res - 30, ind - 30
Optional  RMX-2, RMX-2/TDR, RMX-2C, & RMX-2C/TDR Optional	if >30 acre site, 150 total units (not to exceed density in mp)	30 in residential portion; 40 in commercial portion (not to exceed density in mp)	exceed density in mp)  0.5 com density (not to exceed density in mp)	com: 25; res: 30; none if in accord with mp	com: from on - 100, from on 50, from com res: from one 100, from oth from com or i (may be redu 50%)	ther res - or ind - 25; e-family res - ner res - 30, ind - 30
RMX-3 & RMX-3/TDR Optional	if >30 acre site, 150 total units (not to exceed density in mp)	30 in residential portion; 40 in commercial portion (not to exceed density in mp)	0.5 com density (not to exceed density in mp)	com: 25; res: 30; none if in accord with mp	com: from on - 100, from of 50, from com res: from one 100, from oth from com or i (may be redu 50%)	ther res - or ind - 25; e-family res - ner res - 30, ind - 30
RMX-3C Optional	if >30 acre site, 150 total units (not to exceed density in mp)	30 in residential portion; 40 in commercial portion (not to exceed density in mp)	0.5 com density (not to exceed density in mp)	com: 25; res: 30; none if in accord with mp	com: from on - 100, from of 50, from com res: from one 100, from oth from com or i (may be redu 50%)	ther res - or ind - 25; e-family res - ner res - 30, ind - 30

Density,	Yards	, Heig	ht
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Minimum Uni (Per Acre)	ts Maximum Units (Per Acre)	Maximum Floor Area Ratio	Minimum Building Setback from Street (feet)	Minimum Building Setback from Adjoining Lot (feet)	Maximum Building Height for Main Building (feet)
MXTC & MXTC/TDR Standard	8 (+ MPDU density bonus)	0.35 non-residential	10	from same or commercial zone: 0; from res zone: 20	42
MXTC & MXTC/TDR Optional	20 (+ MPDU density bonus)	1.0 non-residential	10	from same or commercial zone: 0; from res zone: 20	70
TOMX & TOMX/TDR Standard	for TDR Zone: not using TDRs - 20, using TDRs - + 20%	0.5 (+ MPDU density bonus); for TDR Zone: not using TDRs - 0.5, using TDRs - + 20%	10	from adjacent TOMX Zone: 0 or 15 if building has windows, etc.; from com or ind: 20; from one-family res: 25	50; 35 if adjoining or confronting res zone w/<15 units per acre
TOMX & TOMX/TDR Optional	for TDR Zone: not using TDRs 40, using TDRs - + 20%	2.0 (+ MPDU density bonus); for TDR Zone: not using TDRs - 1.6, using TDRs - + 20%			
Plans Required					
	Project Plan Required	Site Plan R	equired		
RMX-1, RMX-2, & RMX-3 Standard					
RMX-1, -2, & -3/TDR Standard					
RMX-2C, -2C/TDR, & -3C Standard		RMX-2C &	RMX-3C: in most circumstan	nces	
RMX-1 & RMX-1/TDR Optional	yes	yes			
RMX-2, RMX-2/TDR, RMX-2C, & RMX-2C/TD Optional	R yes	yes			
RMX-3 & RMX-3/TDR Optional	yes	yes			
RMX-3C Optional	yes	yes			

#### **Plans Required**

Tians Regained	Project Plan Required	Site Plan Required
RMX-2C, RMX-2C/TDR, & RMX-3C Concept Plan		
MXTC & MXTC/TDR Standard		usually
MXTC & MXTC/TDR Optional		yes
TOMX & TOMX/TDR Standard		
TOMX & TOMX/TDR Optional		

## residential development standards

Lot Standards										
	Minimum Tract Area Requirement (square feet)	Maximum Tract Area Requirement (acres)	Minimum Gross Acres (acres)	Minimum Net Lot Size for One-Family Detached Units (square feet)	Minimum Net Lot Size for One-Family Semi-Detached Units (square feet)	Minimum Net Lot Size for Two-Family Detached Units (square feet)	Minimum Lot Width at Building for One-Family Detached Units (feet)	Minimum Lot Width at Building for One-Family Semi-Detached Units (feet)	Minimum Lot Width at Building for Two-Family Detached Units (feet)	Minimum Lot Width at Street Line (feet)
RE-2				87,120			150	, ,		25
RE-2C				87,120			150			25
RE-1				40,000			125			25
R-200				20,000			100			25
R-90				9,000			75			25
R-60				6,000			60			25
R-40				6,000	4,000	8,000	60	40	80	25 for one- family detached
RMH-200		5 acres unless recommended by MP		20,000			100			25
R-4 plex	20,000	•								
RE-2/TDR										
Optional										
Method										
RE-2C/TDR										
Optional										
Method										
RE-1/TDR										
Optional										
Method										
R-200/TDR										
Optional										
Method R-90/TDR										
Optional										
Method										
R-60/TDR										
Optional										
Method										
RT-6.0										
RT-8.0										
RT-10.0										
RT-12.5										

Lot Standards										
	Minimum Tract Area Requirement (square feet)	Maximum Tract Area Requirement (acres)	Minimum Gross Acres (acres)	Minimum Net Lot Size for One-Family Detached Units (square feet)	Minimum Net Lot Size for One- Family Semi- Detached Units (square feet)	Minimum Net Lot Size for Two-Family Detached Units (square feet)	Minimum Lot Width at Building for One-Family Detached Units (feet)	Minimum Lot Width at Building for One- Family Semi- Detached Units (feet)	Minimum Lot Width at Building for Two-Family Detached Units (feet)	Minimum Lot Width at Street Line (feet)
Rural				217,800 (5 acres)		300				25
RC				217,800 (5 acres)		300				300
RC - Cluster Option				40,000			125			25
RDT				40,000			125			25
RNC & RNC/TDR Standard				25,000			100			25
RNC - Optional	435,600 (10 acres)			4,000	3,500					25
RNC/TDR optional				4,000	3,500					25

	Minimum Tract	Maximum Tract	Minimum Gross	Minimu	Minimum Net Lot	Minimum Net Lot	Minimum Lot	Minimum Lot	Minimum Lot	Minimum Lot
	Area Requirement (square feet)	Area Requirement (acres)	Acres (acres)	m Net Lot Size for One- Family Detached Units (square feet)	Size for One-Family Semi-Detached Units (square feet)	Size for Two- Family Detached Units (square feet)	Width at Building for One-Family Detached Units (feet)	Width at Building for One-Family	Width at Building for Two-Family Detached Units (feet)	Width at Stre Line (feet)
				87,210 (2						
RS				acres)			125			300
LDRCDZ				217,800 (5 a	cres)		300			300
LDRCDZ -				40.000			125			25
Cluster Option Equestian			1-2 horses: 2; 3-	40,000			125			25
Facilities			10 horses: 1 per horse; >10 horses: +1/2 per additional horse							
RS - Recycling	435,600 (10		additional noise							1,000
Facility	acres) lot size									
Coverage Require	ments and Restricti	ons, Density								
		-	Maximum Acce Structure Cover of Rear Yard % of rear yard	-	imum Green Area net lot	Minimum Ope % of net lot		Maximum Units Per Ac number of dwellings pe acre		n Floor Area Ratio
RE-2	25		20							
RE-2C	25		20							
RE-1	15		20							
R-200	25		20							
R-90	30		20							
R-60	35		20							
R-40	40		20							
RMH-200	25		20							
R-4 plex	35		20	50				12.5 per acre of "usable area"		
RE-2/TDR Optiona								4 (or less if in MP)		
RE-2C/TDR Option Method	al							2 (or less if in MP)		
RE-1/TDR Optiona	l Method							2 (or less if in MP)		
R-200/TDR Option	al							11 (6 for R-150/TDR) (or	•	

Method	less if in MP)
R-90/TDR Optional Method	28 (or less if in MP)
R-60/TDR Optional Method	28 (or less if in MP)

Coverage Requirements and						
	Maximum Building and Accessory Structure Coverage	Maximum Accessory Structure Coverage of Rear Yard	Maximum Green Area % of net lot	Minimum Open Space % of net lot	Maximum Units Per Acre number of dwellings per acre	Maximum Floor Area Ratio
	% of net lot	% of rear yard			dere	
RT-6.0						
RT-8.0						
RT-10.0						
RT-12.5						
D. vil	10 (up to 40 for green-	25				
Rural	houses)	25				
RC	10 (up to 40 for green- houses)	25				
RC - Cluster Option	10					
RDT	10 (up to 40 for green- houses)				1 per 25	
RNC & RNC/TDR Standard	10 (up to 40 for green- houses)			60	1 per 5	
·	35 (for one-family				·	
RNC - Optional	detached)			65-80 of the tract area	1.22 (per gross acre)	
RNC/TDR optional	35 (for one-family detached)			65-80 of the tract area	1.22 (per gross acre)	
RS	10 (up to 40 for green- houses)			40 (no storage or parking)		0.15
LDRCDZ	10 (up to 40 for green- houses)			. 5 , 6/		
LDRCDZ - Cluster Option	10					
Equestrian Facilities	-					
RS - Recycling Facility						

Yards										
	Minimum Building Setback from Tract Boundary feet	Minimum Building Setback from Street feet	Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet	Minimum Building Side Setback from Adjoining Lot feet	Minimum Building Sum of Side Setbacks from Adjoining Lots feet	Minimum Building Rear Setback from Adjoining Lot feet	Minimum Building Setback between Buildings feet	Maximum Distance of Lot from Public Street feet	Location of Accessory Structure siting	Minimum Setback of Accessory fron Street feet
RE-2		50	20	17	35	35			rear yard	80
RE-2C		50	20	17	35	35	•		rear yard	80
RE-1		50	20	17	35	35			rear yard	80

Yards										
	Minimum Building Setback from Tract Boundary feet	Minimum Building Setback from Street feet	Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet	Minimum Building Side Setback from Adjoining Lot feet	Minimum Building Sum of Side Setbacks from Adjoining Lots feet	Minimum Building Rear Setback from Adjoining Lot feet	Minimum Building Setback between Buildings feet	Maximum Distance of Lot from Public Street feet	Location of Accessory Structure siting	Minimum Setback of Accessory fron Street feet
R-200		40 or EBL	15	12	25	30			rear yard	65
R-90		30 or EBL	15	8	25	25			rear yard	60
R-60		25 or EBL	15	8	18	20			rear yard	60
				one 10' yard for semi-detached units; two 10' yards for two- family detached	18 for one-					
R-40		25	15	units	family detached	20			rear yard	60
RMH-200		40	15	12	25	30			rear yard	65
R-4 plex RE-2/TDR Optional Method	as required by adjoining zone	as required by adjoining zone		as required by adjoining zone		as required by adjoining zone	50	200	rear yard	
RE-2C/TDR Optional Method										
RE-1/TDR Optional Method										
R-200/TDR Optional Method R-90/TDR Optional Method										
R-60/TDR										

Optional Method							
RT-6.0							
RT-8.0							
RT-10.0							
RT-12.5							
Rural	50	50	20	40	35	rear yard	80

Yards										
	Minimum Building Setback from Tract Boundary (feet)	Minimum Building Setback from Street (feet)	Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) (feet)	Minimum Building Side Setback from Adjoining Lot (feet)	Minimum Building Sum of Side Setbacks from Adjoining Lots (feet)	Minimum Building Rear Setback from Adjoining Lot (feet)	Minimum Building Setback between Buildings (feet)	Maximum Distance of Lot from Public Street (feet)	Location of Accessory Structure siting	Minimum Setback of Accessory from Street (feet)
		50 <u>or</u> scenic	50 <u>or</u> scenic							
RC		setback indicated on mp	setback indicated on mp	20	40	35			rear yard	80
RC		50 or scenic	50 or scenic	20	40	33			rear yaru	80
RC - Cluster		setback	setback							
Option		indicated on mp	indicated on mp	17	35	35			rear yard	80
		50 <u>or</u> scenic setback	50 <u>or</u> scenic setback	20	40	25			·	50 <u>or</u> scenic setback
RDT		indicated on mp	indicated on mp	20	40	35				indicated on mp
RNC & RNC/TDR Standard		40	50 <u>or</u> scenic setback indicated on mp	15		35				80
			·	8 (if provided) or equal to the adjoining zone	30 unless adjoining zone requirement is					
RNC - Optional		15	15	requirement	more	35				60
RNC/TDR				8 (if provided) or equal to the adjoining zone	30 unless adjoining zone requirement is					
optional		40	15	requirement	more	35				60
		50; 100 from limited access								
RS		freeway	50	20	40	35				80
LDRCD7		50 <u>or</u> scenic setback	50 <u>or</u> scenic setback	20	40	25				90
LDRCDZ		indicated on mp	indicated on mp	20	40	35				80

Yards	Minimum	Minimun	n Corner Lot	Minimum Puil	ding Cido	Minimum	Minimum	Minimum	Maximum	Location of	Minimum
	Minimum Building Setback from Tract Boundary feet	Building Setback f	Minimum	Minimum Buil Setback from A feet	•	Minimum Building Sum of Side Setbacks from Adjoining Lots feet	Building Rear Setback from Adjoining Lot feet	Building Setback between Buildings feet	Maximum Distance of Lot from Public Street feet	Location of Accessory Structure siting	Setback of Accessory from Street Feet
	Si	0 <u>or</u> scenic etback ndicated on	50 or scenic setback								
LDRCDZ - Cluster Option		np	indicated on mp	17	35	35			r	ear yard	80
Equestrian Facilities											
RS - Recycling Facility	li a	0; 100 from mited ccess ighway	50; 100 from limited access highway	75 if adjoining lo	ot is not	75 if adjoii lot is ind oi	not				
RE-2	10	15	same as main building	12	50	20	25	1	100 200	)	
RE-2C	10	15	same as main building	12	50	20	25	1	100 200	)	
RE-1	10	15	same as main building	12	50	20	25	1	100 200	)	
R-200	7	12	same as main building	12	40	15	25	1	100		

Yards										
	Minimum Building Setback from Tract Boundary feet	Minimum Building Setback from Street feet	Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet	Minimum Building Side Setback from Adjoining Lot feet	Minimum Building Sum of Side Setbacks from Adjoining Lots feet	Minimum Building Rear Setback from Adjoining Lot feet	Minimum Building Setback between Buildings feet	Maximum Distance of Lot from Public Street feet	Location of Accessory Structure siting	Minimum Setback of Accessory from Street Feet
R-90	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	same as main building	10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	30 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	25	100		
R-60	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	same as main building	10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	25 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	25	100		
R-40	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	same as main building	10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	25 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line				_
RMH-200	12	12	same as main building	12	40	15				

Yards										
	Minimum Building Setback from Tract Boundary feet	Minimum Building Setback from Street feet	Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet	Minimum Building Side Setback from Adjoining Lot feet	Minimum Building Sum of Side Setbacks from Adjoining Lots feet	Minimum Building Rear Setback from Adjoining Lot feet	Minimum Building Setback between Buildings feet	Maximum Distance of Lot from Public Street feet	Location of Accessory Structure siting	Minimum Setback of Accessory fro Street feet
			same as main							
R-4 plex			building							
RE-2/TDR										
Optional										
Method										
RE-2C/TDR										
Optional Method										
RE-1/TDR										
Optional										
Method										
R-200/TDR										
Optional										
Method R-90/TDR										
Optional										
Method										
R-60/TDR										
Optional										
Method										
RT-6.0										
RT-8.0										
RT-10.0										
RT-12.5										
			50 <u>or</u> scenic							
Domeil	10	15	setback				25	400	200	
Rural	10	15	indicated on i	пр			25	100	200	

RC	10	15	50 <u>or</u> scenic setback indicated on mp	25	100	200
KC .	10	15	muicated on mp	23	100	200
			50 <u>or</u> scenic			
RC - Cluster			setback			
Option	10	15	indicated on mp	25	100	200

Yards											
	Minimum Building Setback from Tract Boundary feet	Minimum Building Setback from Street feet	Corner Lot Minimum Building Setbac from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet	Adjoining Lot feet	Minimum Building Sum o Side Setbacks from Adjoining Lots feet	Setback from	between	Setback	Maximum Distance of Lot from Public Street feet	Location of Accessory Structure siting	Minimum Setback of Accessory from Street feet
			50 or scer	nic							
			setback in	dicated							
RDT	10	15	on mp					25	1	00	
RNC & RNC/TDR		15	F0					25	4	00	200
Standard	10	15	50					25		00	200
RNC - Optional	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	same as main building	10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	25 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	25	10	0 2	00	
RNC/TDR optional	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	5 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	same as main building	10 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	25 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	15 + 2' per each foot over 15' in height + 2' per each foot over 24' in length along the lot line	25	10	0 2	00	
			50 <u>or</u> scenic								
			setback								
RS	10	15	indicated on mp				25	10	0 2	.00	
			50 <u>or</u> scenic								
LDRCDZ	10	15	setback indicated on mp				25	10	n -	.00	
-DINCDZ	10	10	maicated on Hip				دع	10		.00	

Yards										<del></del>
	Minimum Building Setback from Tract Boundary feet	Minimum Building Setback from Street feet	Corner Lot Minimum Building Setback from Street (if adjacent building does not front on that street or is in a nonresidential zone) feet	Minimum Building Side Setback from Adjoining Lot feet	Minimum Building Sum of Side Setbacks from Adjoining Lots feet	Minimum Building Rear Setback from Adjoining Lot feet	Minimum Building Setback between Buildings feet	Maximum  Distance of Lot from Public Street feet	Location of Accessory Structure siting	Minimum Setback of Accessory fro Street feet
LDRCDZ - Cluster Option	10	15	50 <u>or</u> scenic setback indicated on mp				25	100	200	
Орсіон	10	13	maicated on mp				23	100	200	
Equestrian Facilities								100 for any building, show ring, paddock, outdoor area, and manure storage area		
RS - Recycling Facility										
Heights, Develo	pment Requirements Maximum Building Height for any Building except for Ag Buildings feet	s/Allowances/Restri Maximum Building Height for Main Building feet	Maximum Number of Stories for Main Building stories	Maximum Accessory Height feet	Maximum Accessory Stories stories	Cluster Development Permitted Y/N	MPDU units Required Y/N	Develop-ment Plan Required Y/N	Site Plan Required Y/N	
RE-2	50			50	50					
RE-2C	50			50	50	у	У			
							y if public water and sewer is provided or			
RE-1	50			50	50	У	designated			

	Maximum Building Height for any Building except for Ag Buildings feet	Maximum Building Height for Main Building feet	Maximum Number of Stories for Main Building stories	Maximum Accessory Height feet	Maximum Accessory Stories stories	Cluster Development Permitted Y/N	MPDU units Required Y/N	Develop-ment Plan Required Y/N	Site Plan Required Y/N
R-200	50			50	50	У	у		
		35 to highest point or 30 to mean height b/w eaves and ridge or 40 if approved by	2.5 or maximum height if other lots in the same block have a height = or < than or 3 if approved by						y if buildings
R-90		the PB through site plan	the PB through site plan	20 to the highest point	2	У	٧		are 3 stories or 40'
R-60		35 to highest point or 30 to mean height b/w eaves and ridge or 40 if approved by the PB through site plan	maximum height if other lots in the same block have a height = or < than or 3 if approved by the PB through site plan	20 to the highest point	2	у	у		y if buildings are 3 stories or 40'
₹-40	35	35 to highest point or 30 to mean height b/w eaves and ridge or 40 if approved by the PB through site plan	35 to highest point or 30 to mean height b/w eaves and ridge or 40 if approved by the PB through site plan	35 / 20 to the highest point	35 / 20 to the highest point		у		y if buildings are 3 stories o 40'
RMH-200						у	У		
R-4 plex		35		20	20		У	У	У
RE-2/TDR Optional Method									у
RE-2C/TDR Optional Method									, V

RE-1/TDR	
Optional	
Method	у
R-200/TDR	
Optional	
Method	у
R-90/TDR	
Optional	
Method	у
R-60/TDR	
Optional	
Method	у
RT-6.0	

	Maximum Building Height for any Building except for Ag Buildings feet	Maximum Building Height for Main Building feet	Maximum Number of Stories for Main Building stories	Maximum Accessory Height feet	Maximum Accessory Stories stories	Cluster Development Permitted Y/N	MPDU units Required Y/N	Develop- ment Plan Required Y/N	Site Plan Required Y/N
RT-8.0									
RT-10.0									
RT-12.5									
Rural	50								
RC	50								
RC - Cluster Option	50								
RDT	50								
RNC & RNC/TDR Standard	25					yes if o methoo water 8	l w/public		
RNC - Optional	35 35					water o	sewer		yes
RNC/TDR optional	35					yes if o method water 8	l w/public		yes
RS	50								yes
LDRCDZ	50								yes
LDRCDZ - Cluster Option	50								yes
Equestian Facilities									
RS - Recycling Facility									
RE-2	_								
RE-2C									
RE-1									
R-60	_								
R-40									
RMH-200									
R-4 plex	2, C-3, I-1, I-2 or R-CB	D or CBD; the tract r	t of land zoned C-0, C-1, nust be served by public 100' of arterial or higher						

E f e E	Maximum Building Height Or any Building except for Ag Buildings eet	Maximum Building Height for Main Building feet	Maximum Number of Stories for Main Building stories	Maximum Accessory Height feet	Maximum Accessory Stories stories	Cluster Development Permitted Y/N	MPDU units Required Y/N	Develop-ment Plan Required Y/N	Site Plan Required Y/N
RE-2/TDR Optional N									
RE-2C/TDR Optional									
RE-1/TDR Optional N									
R-200/TDR Optional	Method								
R-90/TDR Optional N									
R-60/TDR Optional N	Лethod								
RT-6.0									
RT-8.0									
RT-10.0									
RT-12.5									
Rural									
RC									
RC - Cluster Option									
			enant dwelling, mo	_					
RDT			, and accessory aparts to min. Ic		ngs				
RNC & RNC/TDR Star	ndard	ure ne	or subject to min. It	71 3120					
RNC - Optional		of lot conne open	ay front on private sizes and house siz ected to public wate space calculation is times net tract area	es required; must er and sewer unles s sometimes on gro	be s;				
RNC/TDR optional			conform to guidelir od stnadards apply		onal				
RS		parkir	ng in side or rear; so	creening requirem	ents				
.DRCDZ									
DRCDZ - Cluster Op	tion								
		size o mana	er and size of even f site; special conse gement regulations lighting, and hours	ervation and s if > 10 horses; sp					
Equestian Facilities		stand	ards						

	must have direct access to primary industrial
	street or higher; must be within 2 miles of
RS - Recycling Facility	interstate highway interchange

### **Development Standards Fact Sheets**

The Montgomery County Zoning Code 119 zones each have applicable development standards. These fact sheets show how development looks across the County. Each sheet reflects standards as applicable in each zone, including minimum area, setbacks, height restrictions, open/green area, and parking requirements. Development patterns are shown in aerial images. For complete regulations, please refer to the Montgomery Zoning Code.

## R-60

The R-60 Zone typically results in residential subdivisions with medium sized lots, a fairly dense housing pattern, up to just over seven dwellimg units/acre, typically near commercial centers and just outside of CBDs.

Requirements	
minimum net lot area	6,000 sf .1377 ac
minimum lot width (at front of building)	60 ft
minimum setback from street (interior lot)	25 ft
sideyard setbacks (main house)	Š
minimum sidevard	8ft

sum of 2 sideyards minimum rearyard	18 ft 20 ft
maximum building height (1) (main bldg: mean-30 ft to highest pt., 35 ft)	30-35 ft
maximum building coverage	35%
max. units/acre (for multiple lot areas)	7.26

### Open Space/Green Area:

none

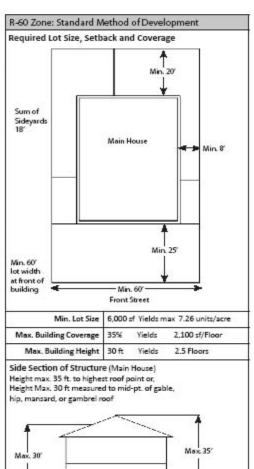
#### Parking:

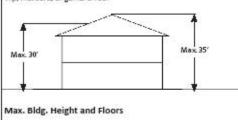
2 off-street parking spaces/dwelling unit

- 1. Bldg. Hgt. may be increased to 3 floors or 40 ft by MCPB
- 2. Resubdivisions may allow lots 50 ft wide and 5,000 sf net lot areas
- 3. Refer to complete regulations in the Montgomery county Zoning Code



Existing Residential Zones





## R-90

Established in 1954, the R-90 Zone results in residential subdivisions with medium sized lots. At almost five du/ac, the R-90 Zone can develop into a housing pattern of medium density. The zone is typically found in down-county areas away from transportation hubs.

Requirements	
minimum net lot area	9,000 sf .2066 ac
minimum lot width (at front of building)	75 ft
minimum setback from street (or existing building line)	30 ft
sideyard setbacks (main house)	V.
minimum sideyard sum of 2 sideyards minimum rearyard	8 ft 25 ft 25 ft
maximum building height (1) (main bldg: mean-30 ft to highest pt., 35 ft)	30-35 ft
maximum building coverage	30%
max. units/acre (for multiple lot areas)	4.84

#### Open Space/Green Area:

#### none

#### Parking:

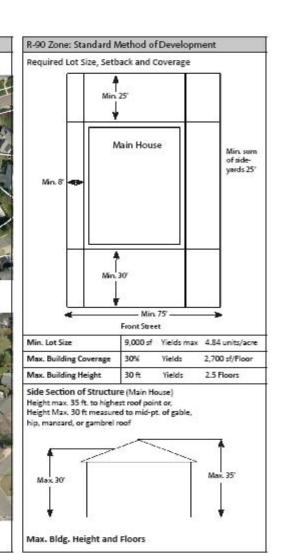
2 off-street spaces/dwelling unit

#### Notes

- Building height may be increased to 3 floors or 40 feet by Planning Board
- Resubdivisions may allow lots 50 ft wide and 5,000 sf net lot areas
- Refer to complete regulations in Montgomery County Zoning Code



Existing neighborhood in an R-90 zone



### County

# RE-2

Formerly called the R-A Zone, the RE-2 Zone has been around for decades to allow residential homes in the more agricultural or rural areas of the County. At only 0.5 du/ac, the RE-2 Zone generally establishes larger homes in an open, sprawling land use pattern.

Requirements	
minimum net lot area	87,120 sf 2 acres
minimum lot width (at front of building)	150 ft
minimum setback from street (interior lot)	50 ft
sideyard setbacks (main house)	
minimum sideyard sum of 2 sideyards minimum rearyard	17 ft 35 ft 35 ft
maximum building height (1)	50
maximum building coverage	30%
max. units/acre (for multiple lot areas)	.5

#### Open Space/Green Area:

none

#### Parking:

2 off-street parking spaces/dwelling unit

#### Notes

- 1. Except agricultural buildings
- This zone adopts the development standards of the prior zone if the lot was recorded, by plat or deed, before 3/16/82
- Refer to complete regulations in the Montgomery county Zoning Code

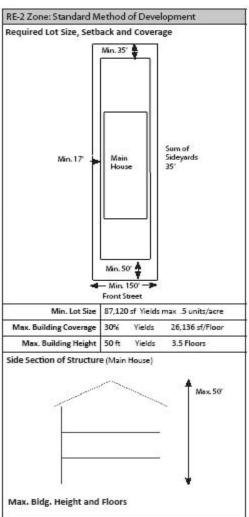


RE-2 Typical Build Out Plan Pattern and Form North Potomac at Stonebarn Lane and Squires Court



Existing RE-2 Zones

Images



### CBD-1-Optional Method

The CBD Zones provide a well-functioning, compact urban environment near transit centers and foster a variety of land uses designed at a pedestrian scale. The CBD-1 Zone is positioned inside the edge of urban districts at locations not appropriate for high density and promotes businesses and living accommodations in lowto medium-scale building arrangements that complement the more dense core of the district.

Requirements		
Minimum lot size (1) 18,000 sf		
Density		
Max residential units/acre	125	
Max FAR for non-residential	2.0	
Max FAR for mixed (2)	3.0	
Max Building Height (3)	60 feet	
Open Space/Green Area		
Minimum public use space	20% of lot	

- Notes 1. May be less when recommended in master
- or sector plan 2. Non-residential FAR may not exceed 2.0
- 3. Planning Board can approve up to 90 feet and up to 143 feet to accomodate workforce housing
- Refer to complete regulations in Montgomery County Zoning Code

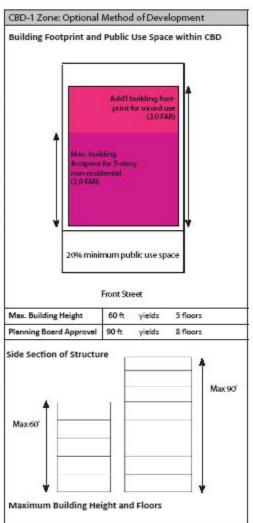


Images

Fenton Street and Wayne Avenue, Silver Spring



Existing development in an CBD-1 Optional Method zone



### CBD-2-Optional Method

The CBD Zones provide a well-functioning, compact urban environment near transit centers and foster a variety of land uses designed at a pedestrian scale. The CBD-2 Zone is positioned inside or near the core of the urban district and provides a transition to the less dense periphery. The CBD-2 Zone offers incentives for development that includes housing that can serve those employed in the area or who commute by public transportation.

Requirements	
Minimum lot size (1)	18,000 sf
Density:	
Max. residential units/acre	200
Max. FAR for non-residential	4.0
Max. FAR for mixed (2)	5.0
Max. Building Height (3)	143 feet
Open Space/Green Area	

#### Notes

Minimum public use space

 May be less when recommended in master or sector plan

20% of lot

- 2. Non-residential FAR may not exceed 3.0
- 3. Planning Board can approve up to 200 feet
- Refer to complete regulations in Montgomery County Zoning Code

Images

CBD-2 Optional Method Typical Build Out Plan Pattern and Form Old Georgetown Road and Woodmont Avenue, Bethesda

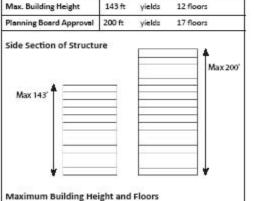


Building Footprint and Public Use Space within CBD

AddI building footprint for mixed use (S.0 FAR)

Max. building footprint for 5-story non-residential (4.0 FAR)

20% minimum public use space



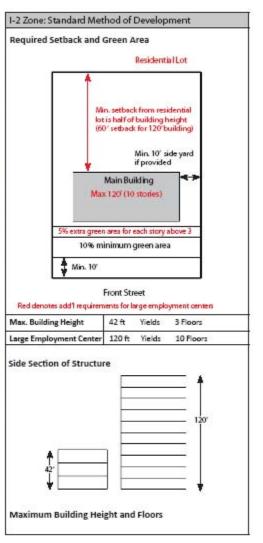
### 1-1

The I-1 Zone zone promotes light industrial activity - such as the manufacturing of wood products or medical equipment. Although the typical build-out results in a building form of less than 3 stories, the zone provides a range of options for building typology allowing up to 10 stories in height.

Requirements			
Minimum lot size	None		
Minimum setback from street:	ž.		
r.o.w. established in master plan	10 feet		
No r.o.w. in master plan	60 feet from cen- terline		
Minimum sideyard setbacks:	·		
Generally	None		
Adjoining residential zone	Equal to adjoining res. zone or not less than 10'		
Max. height, generally	42 feet (3 stories)		
Max. height, large employment center	120 feet (10 stories)		
Parking			
Industrial, manufacturing estab- lishments, or warehouse	1.5 spaces for each 1,000 sq ft of total floor area plus load ing area		
Minimum Green Area	Α-		
Generally	10% of lot		
Large employment center	Increase by 5% of net lot area for each story over 3		

- For large employment centers, setback from residential lot must equal half the height of the building
- Refer to complete regulations in Montgomery County Zoning Code





Notes

### 1-2

Requirements

Build-out of the I-2 zone typically occurs on larger lots to allow for heavy industrial activity to occur within an industrial complex on a single site. Because truck volume increases with heavy industry, the I-2 zone is normally found near major highway systems.

nequirements	
Minimum lot size	No requirement
Minimum setback from street:	
r.o.w. established in master plan	10 feet
No r.o.w. in master plan	60 feet from centerline
Minimum sideyard setbacks:	
Generally	None
Adjoins residential zone	Equal to adjoin- ing res. zone or not less than 10'
Maximum height	70 feet (5 sto- ries)
Parking (example)	101
Industrial, manufacturing es- tablishments, or warehouse	1.5 spaces for each 1,000 sq

ft of total floor area plus loading area

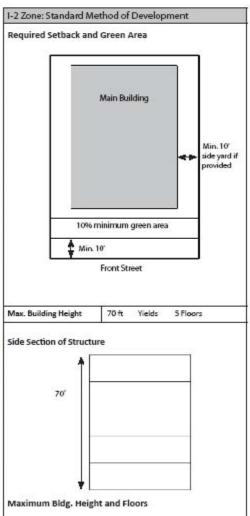
10% of lot

 Refer to complete regulations in Montgomery County Zoning Code

Open Space/Green Area Minimum green area

Notes





### **Special Exceptions**

A special exception is a use allowed in a zone that must meet additional standards, both general to all special exceptions and those that are specific to a use. Additionally, approval includes participation in the public hearing process and demonstration by the applicant that all applicable requirements are met. Each of the following 98 special exception in the Code will be reviewed and analyzed to make sure that standards and uses are current.

### **List of Special Exceptions**

Abattoir

Accessory Apartment Accessory Dwelling

Airstrip associated with a farm

Amateur radio facility

Ambulance or rescue squad, privately supported, non-profit

Animal boarding place
Animal cemeteries

Antique shop

Art or cultural centers

Auction facility

Automobile filling stations

Automobile, light truck and light trailer rentals, outdoor

Automobile storage lots

Automobile, truck and trailer rentals, outdoor

Bed-and-breakfast lodging

Blacksmith Boardinghouse

Cable communication system

Campground Car wash

Catering facility, outdoors

Cemetery and family burial site

Chancery and international organization Charitable and philanthropic institution

Child day care facility Clinic, medical or dental Combination retail store

Conference center with lodging

Country market

Day care facility for senior adults and persons with disabilities

**Dwellings** 

Drive-in restaurants

Eating and drinking establishment in the O-M Zone

Educational institution, private

Electric power transmission/distribution lines

Equestrian facility in an agricultural zone Equestrian facility in a residential zone

Family burial site

Farm machinery, sales, storage or service Farm supply, sales, storage or service

Farm tenant mobile home

Fertilizer mixing plants

Funeral parlor or undertaking establishment

Golf course, country club, and private club

Golf course in the RDT zone

Golf driving range

Grain elevator (P if accessory to a farm)

Group home, large

Group picnic, catering and recreational facility

Heliport and helistop

Highway fuel and food service

Home occupation, major

Hospice care facility

Hospital

Hospital, veterinary

Hotels and motels

Housing and related facilities for senior adults and persons with

disabilities

Landscape contractor

Life care (continuing care) facility

Manufacture of mulch and composting

Medical practitioner's office for use by other than a resident of the

dwelling (50% must be in residential use by an occupant)

Meeting centers

Milk Plant (P if accessory to a farm)

Nursery, horticultural retail
Nursery, horticultural wholesale

Nursing home and domiciliary care homes

Offices, general

Offices, professional, nonresidential

Parking facilities, off-street, at locations 500' + from entrance of

nonresidential establishment to be served

Parking of automobiles, off-street, in an industrial zone, in connection

with any use permitted in a commercial zone

Personal living quarters

Pet shops

Pipeline, above ground

Private club and service organization Public utility buildings and structures

Radio and television broadcasting stations and towers

Recreational or entertainment establishments, commercial

Retail and service establishments

Retail establishments in a multiple family dwelling

Retail establishment in an office building

Rifle or pistol ranges, indoor

Rifle, pistol and skeet shooting ranges, outdoor

Rock or stone quarries

Sand, gravel or clay pits

Sanitarium (See hospital)

Sawmills

Secondary agricultural processing, not otherwise specified Solid waste transfer station, sanitary landfill, or incinerator

Swimming pools, commercial Swimming pools, community

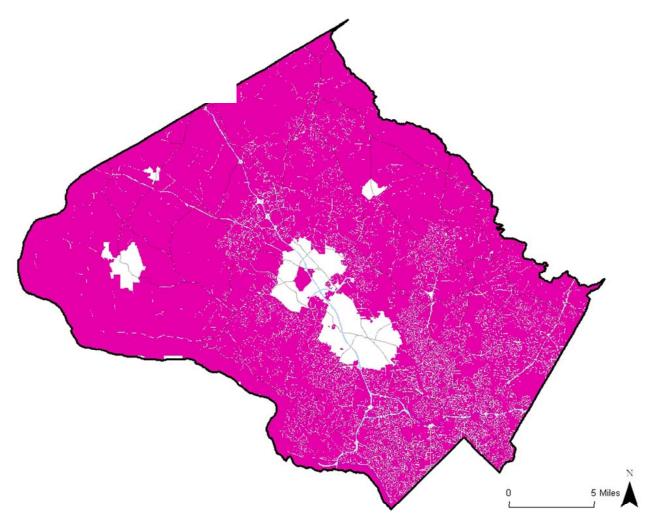
Teahouse and restaurants in residential zones (no longer allowed)
Telecommunications facility
Theaters, indoor
Theater, legitimate
Tire, battery, and accessory stores

Winery

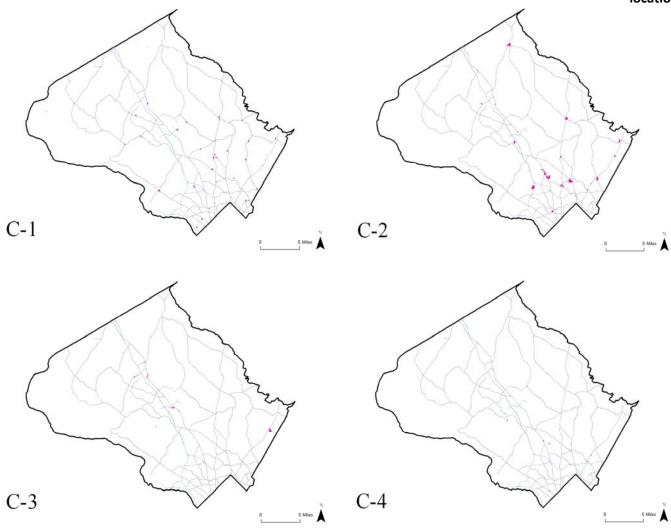
### **Mapped Zones**

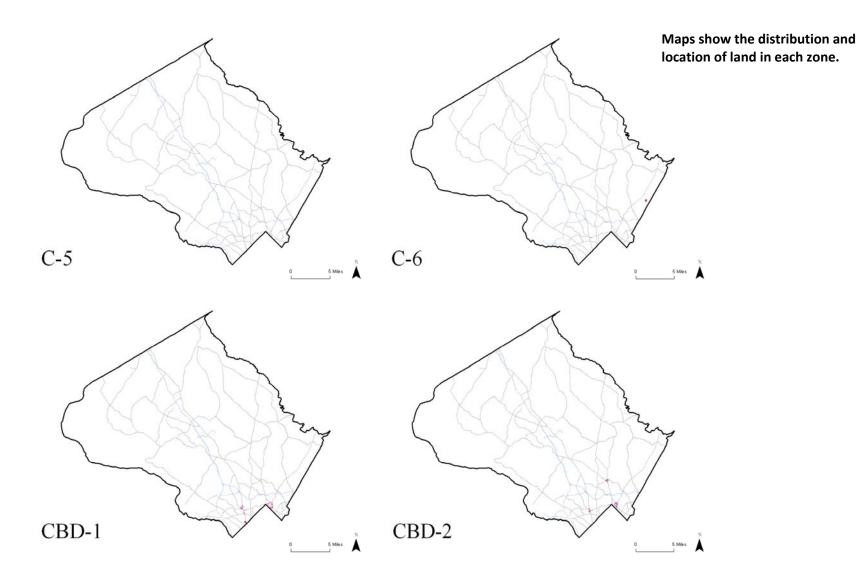
Geographic Information Systems (GIS) technology gives us the ability to locate on County-based maps, all of the land zoned in each of the 119 zones. The following maps show the distribution and location of land zoned in each zoning category

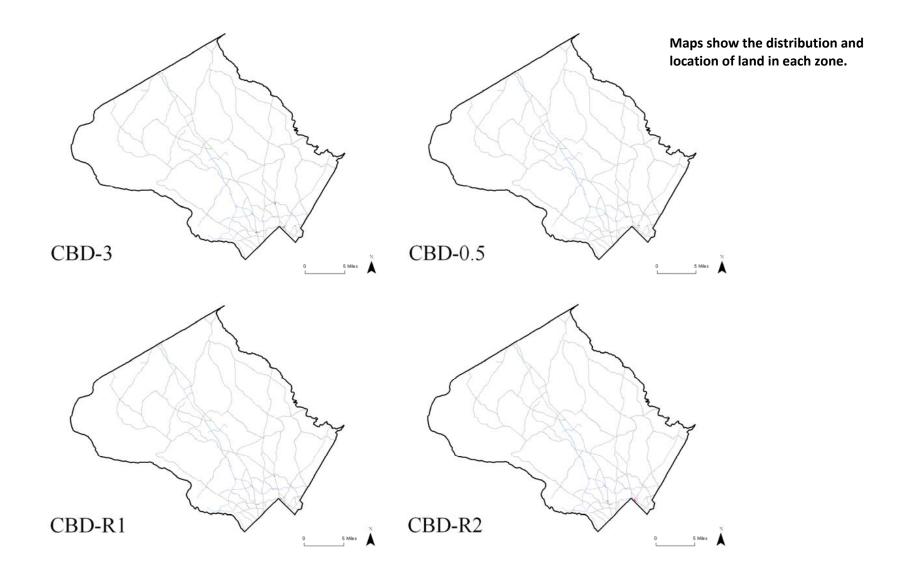
### All zoned land in Montgomery County

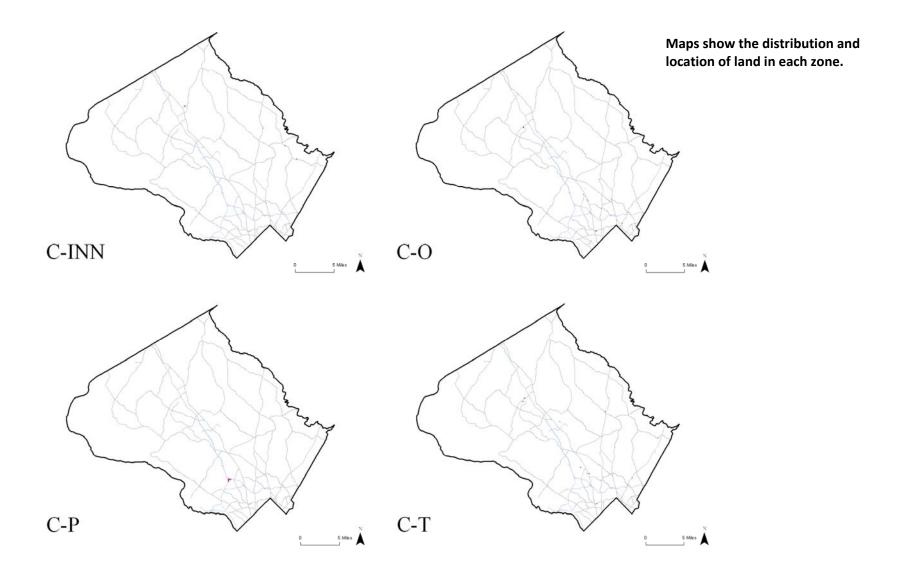


# Maps show the distribution and location of land in each zone.

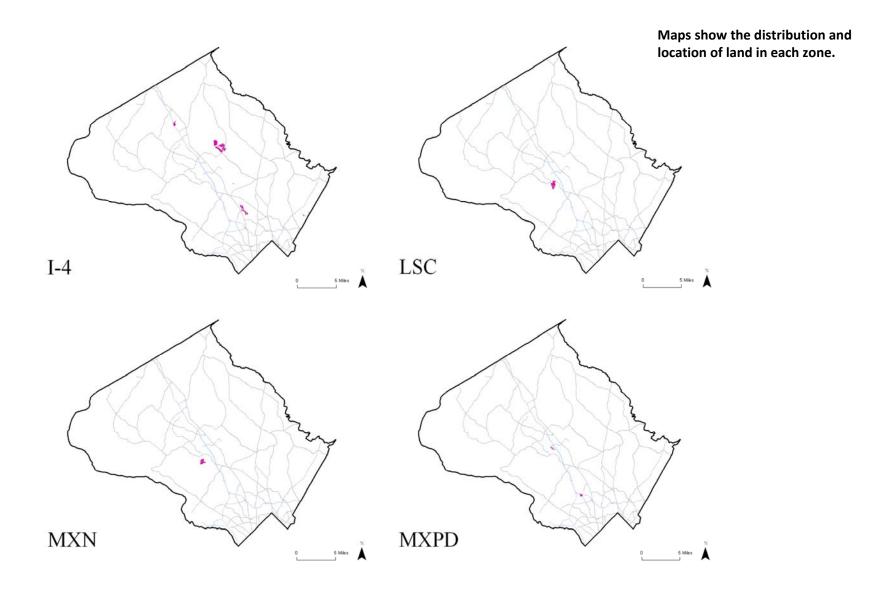


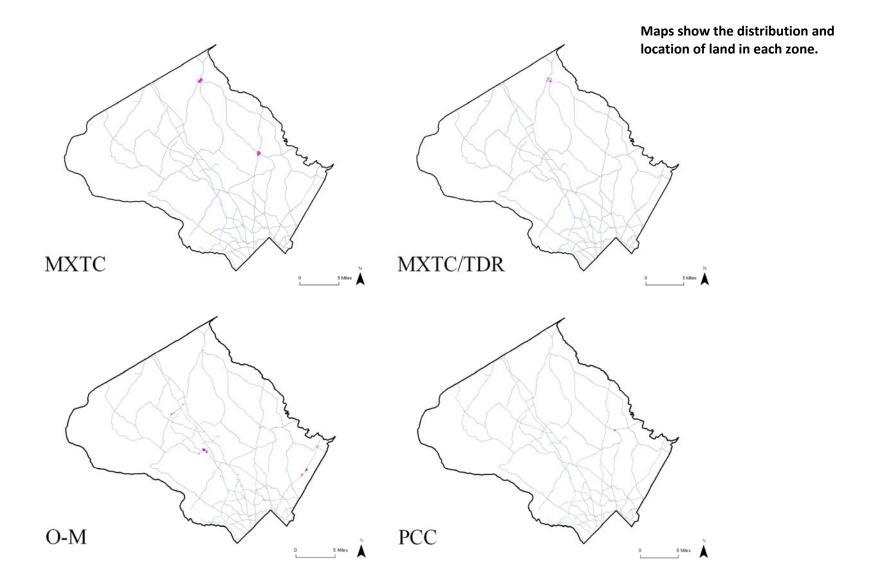


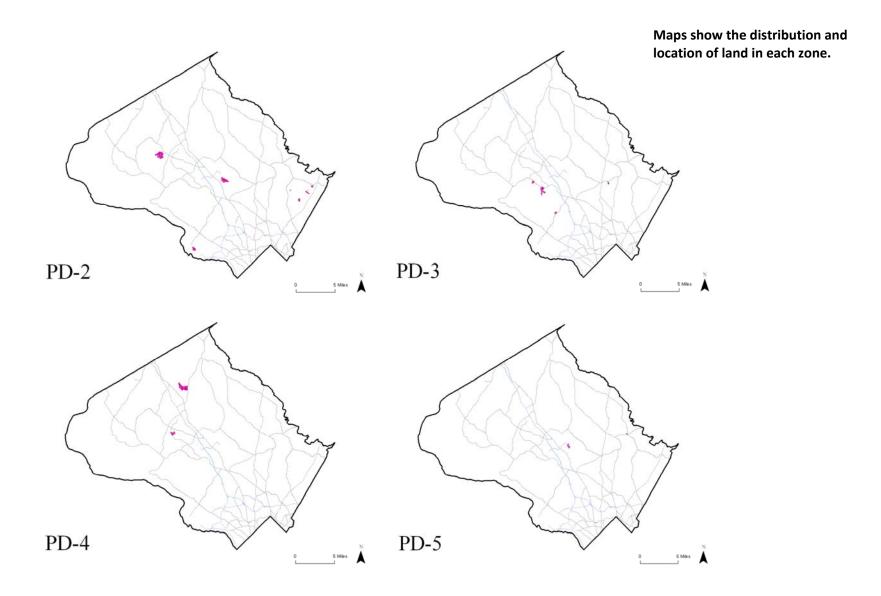


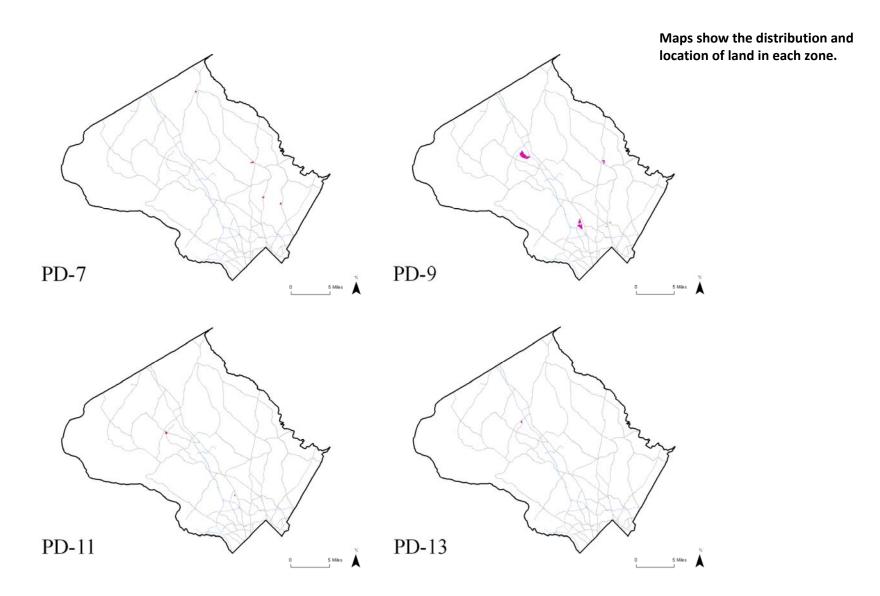


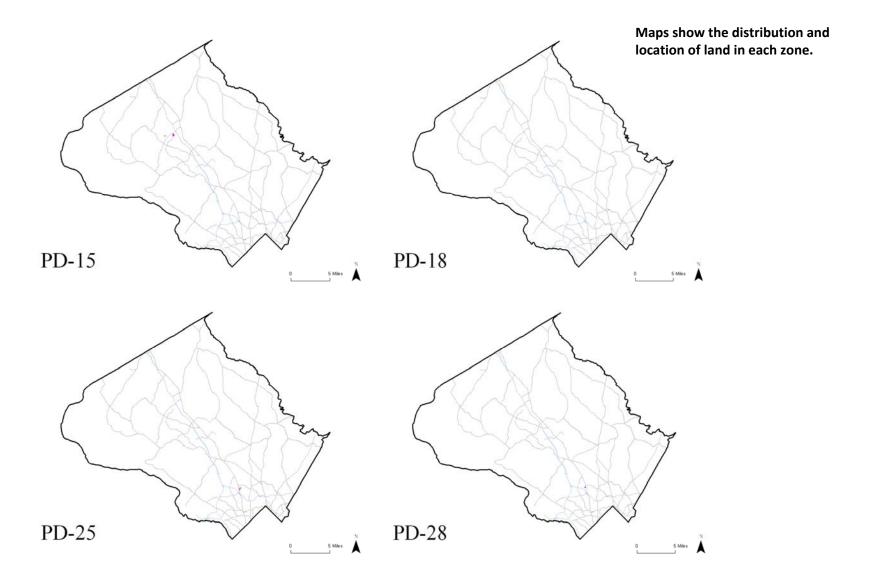


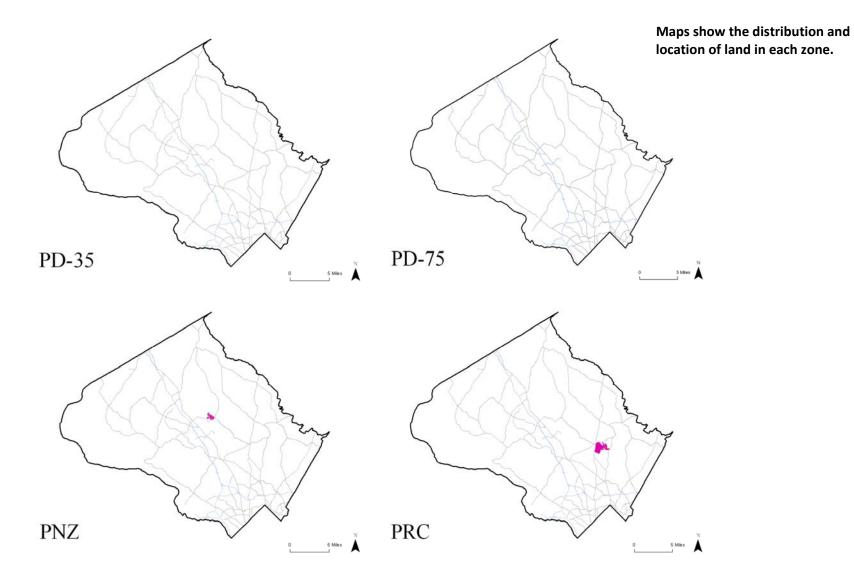


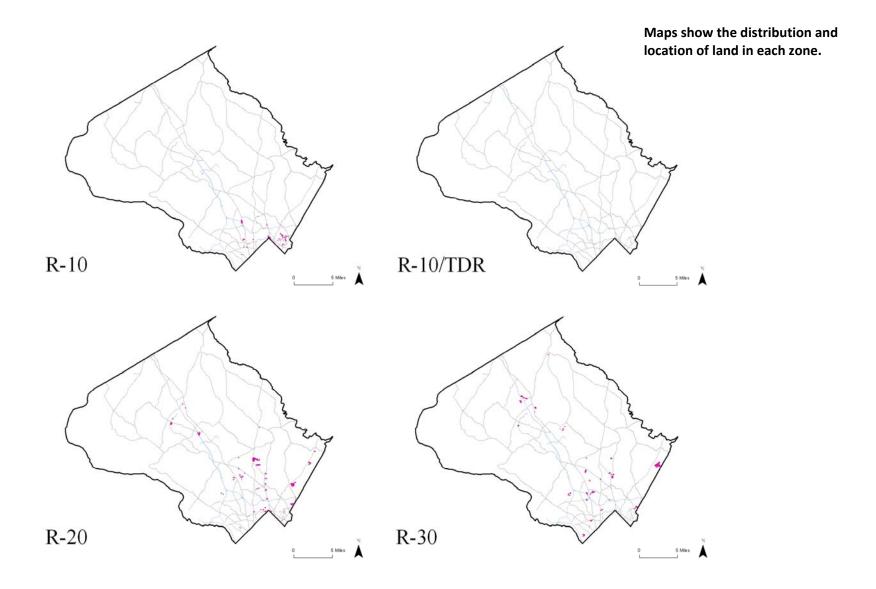


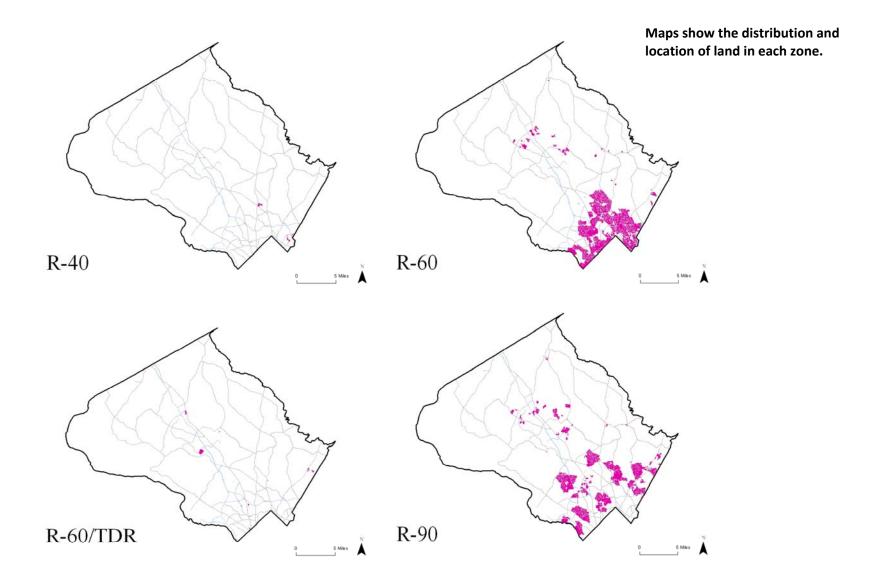


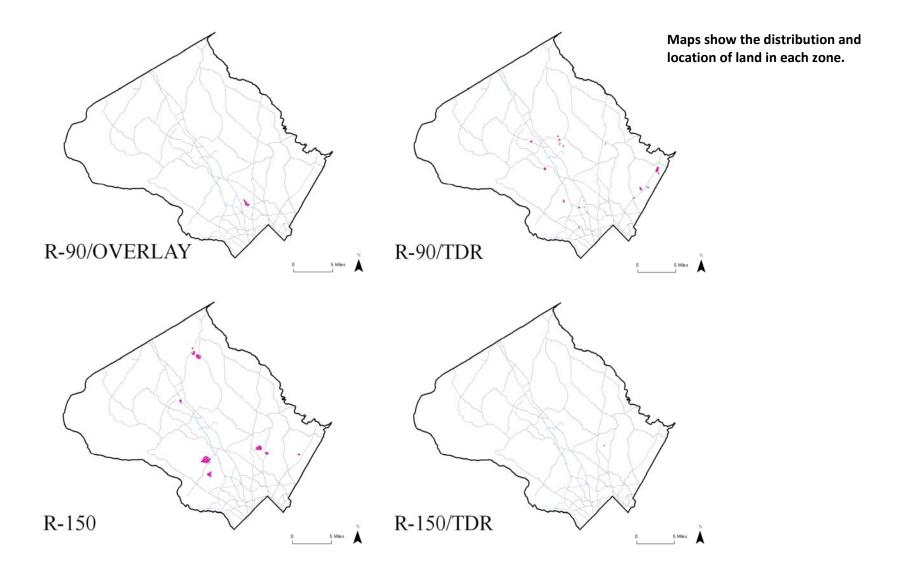


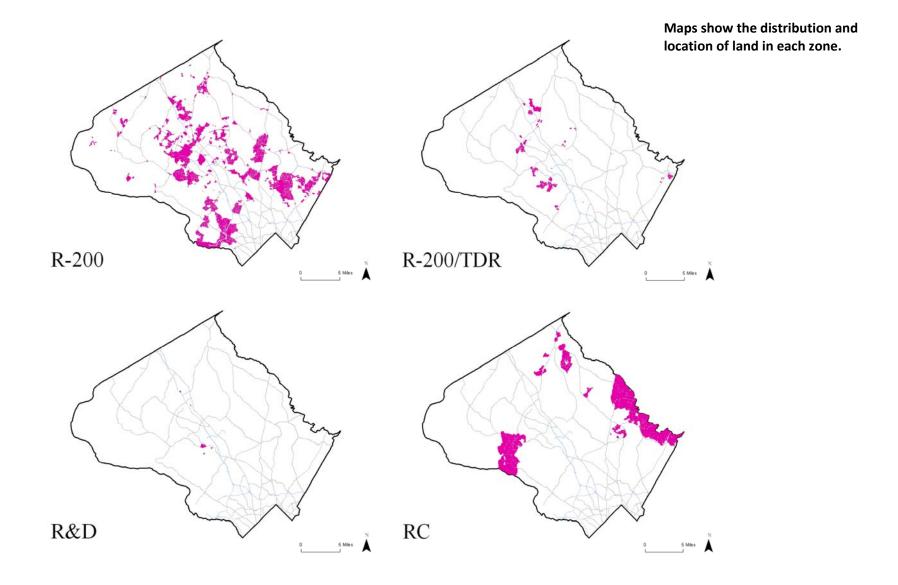


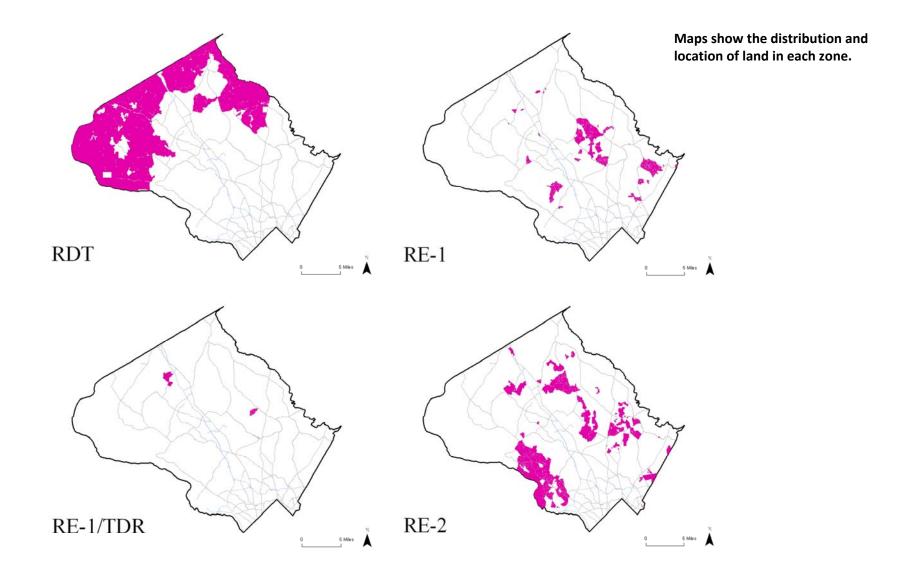


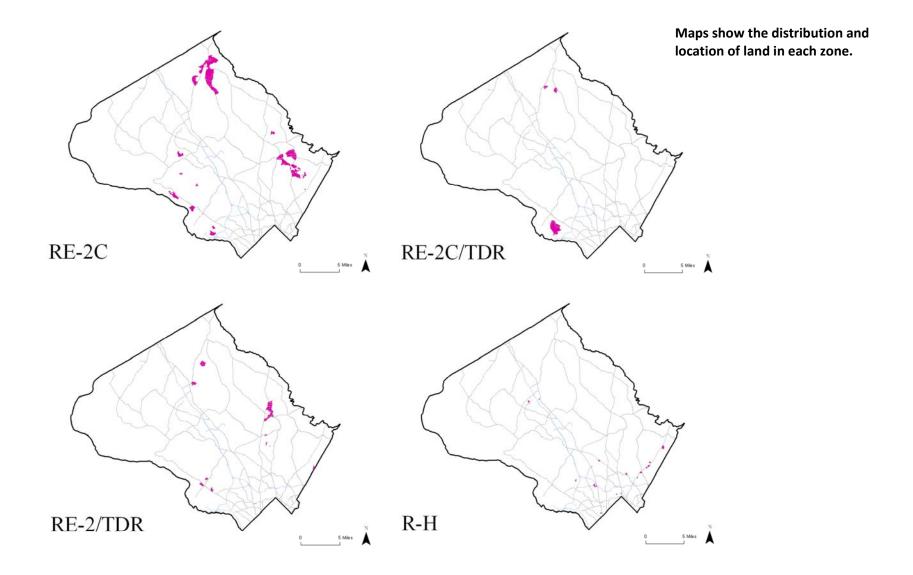


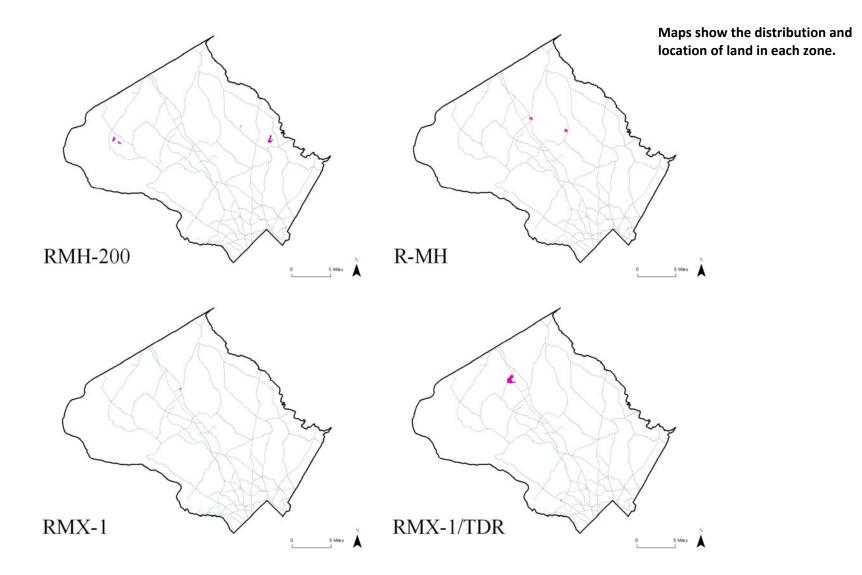


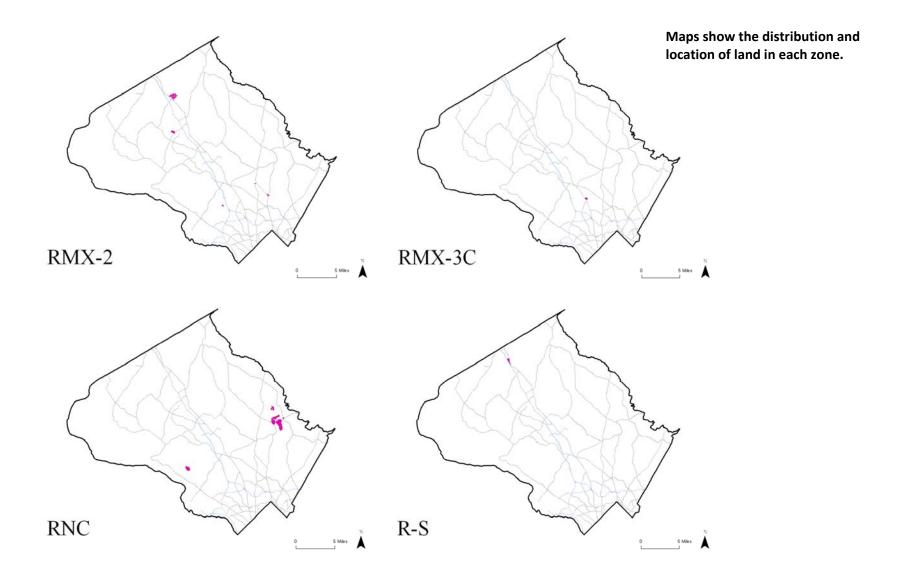


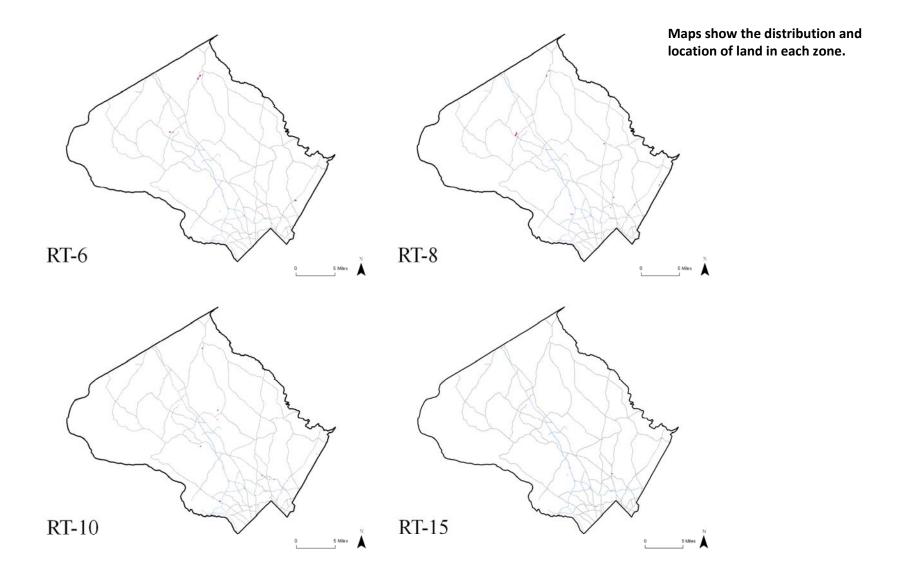


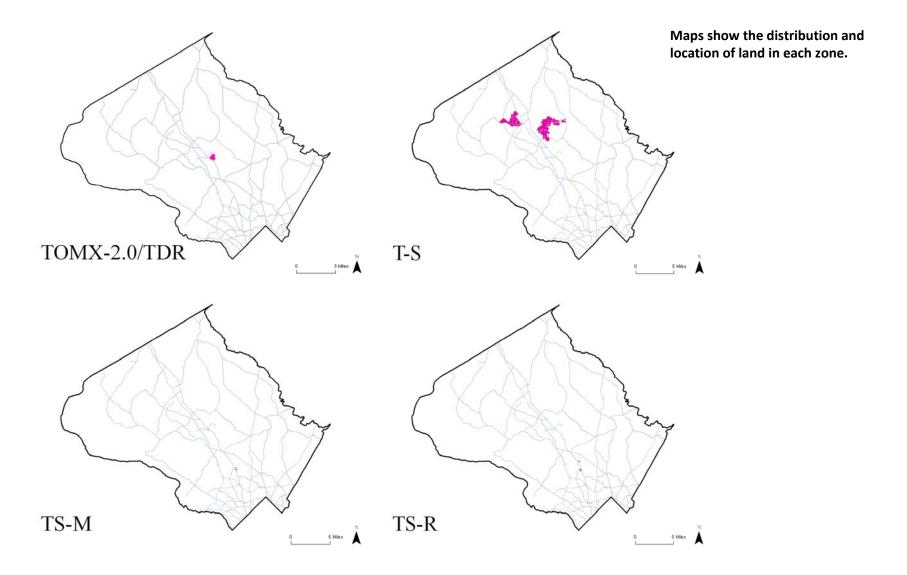


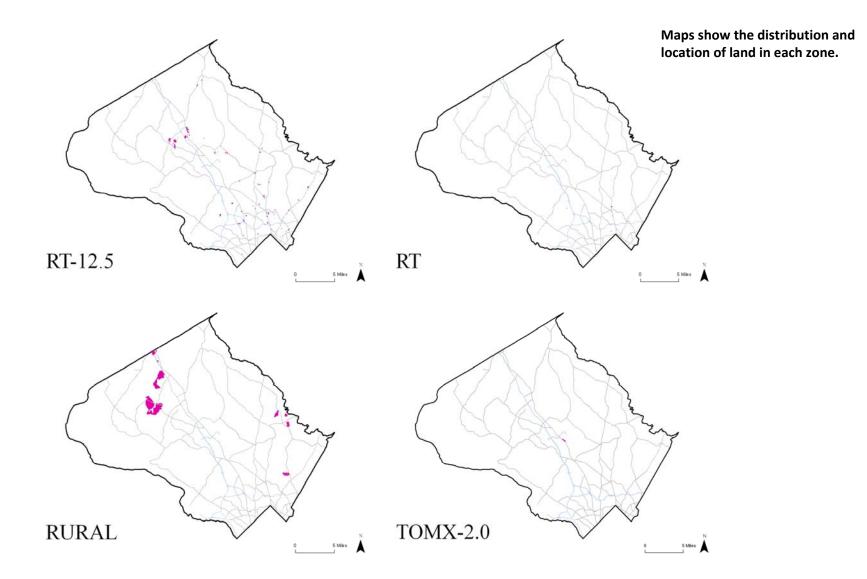












### **Parking Standards**

This table represents the parking requirements as listed in the Code reduced from eight pages of text. A tabular version is easier to use and

takes up less space in the Code. As part of the rewrite project the standards and uses will be reviewed and updated. We will consider reducing requirements and establishing maximum requirements in commercial or mixed-use zones.

### **59-E-3.7 - SCHEDULE OF PARKING REQUIREMENTS**

USE	MINIMUM NUMBER OF PARKING SPACES
Airport, airpark, airfield	50 spaces
Ambulance service or rescue squad	Adequate number of spaces to accommodate the use and 2 additional spaces per vehicle
Apartment, accessory	2 spaces per dwelling unit
Apartment hotel	1 space for each transient bedroom or transient suite with no separate bedroom; 1.25 spaces
	for each apt for transient suite w/one bedroom; 1.5 spaces for each apartment or transient
	suite with 2 bedrooms; 2 spaces for each apartment or transient suite with 3 or more
	bedrooms; and one space for every two employees on the major shift; and 2.5 spaces for each
	1,000 square feet of floor area for places of assembly
Auditorium or stadium	1 space for every 4 seats or similar vantage accommodations provided
Automobile filling station	1 space for each car wash bay, grease bay, or similar service, and 1 space for each employee
Automobile repair and service station	1 space for each employee, and 3.3 spaces per 1,000 square feet of total floor area
Bed and breakfast lodging	1 space for each guest room, or as provided in 59-G-2.09.2(f); plus 2 spaces required for the
	main dwelling unit
Boardinghouse	1 space for each guest room for new construction; for a converted structure, 1 space for every
	2 rooms
Charitable or philanthropic institution	See Section G-2.21(a) and ( c )(1)
Child care facilities:	
Family day care home and group day care	1 space for each non-resident staff plus required spaces for the main dwelling unit, and may
home	include on-street parking
Child day care center	1 space for each non-resident staff plus required spaces for the main dwelling unit, if
	applicable, plus 1 space for every six children
Civic or private club	2.5 spaces per 1,000 square feet of total floor area
Clinic, medical or dental	5 spaces per 1,000 square feet of gross floor area

Community center, library, museum, civic	2.5 spaces per 1,000 square feet of total floor area
club, private club, lodge or similar use	
Country market	5 spaces per 1,000 square feet of area used for interior and exterior retail display sales
Day care facility for senior adults and persons	1 space for every 4 non-resident senior adults or persons with disabilities. The Board of
with disabilities	Appeals may reduce this requirement in accordance with 59-G-2.13
Domiciliary care home	1 space for every 4 beds and 1 space for every 2 employees on the largest work shift
Dwelling, carriage house	1 space plus 2 spaces required for the main dwelling unit
Dwelling, multiple family, or apartment:	
Efficiency	1 space for each dwelling unit
1 bedroom	1.25 spaces for each dwelling unit
2 bedrooms	1.5 spaces for each dwelling unit
3 or more bedrooms	2 spaces for each dwelling unit
Dwelling, one-family, semi-detached, two-family, mobile home, fourplex	2 spaces for each dwelling unit
Dwelling, townhouse	2 spaces per dwelling unit
Educational institution, private	1 space for each employee, and sufficient off-street parking space for the safe and convenient
	loading and unloading of students, and additional facilities for student parking
Farm machinery and supply	5 spaces per 1,000 square feet of interior and exterior sales area or as per the opinion of the
	Board of Appeals, but no less than 2 spaces per 1,000 square feet of interior and exterior sales
	area; if only devoted to storage and service of farm machinery, 1.5 spaces per 1,000 square feet of total floor area
Fraternity, sorority, dormitory	1 space for every 2 students, except 1 space for every 4 students in a dormitory, plus 1 space
	for each manager or employee
Funeral parlor	1 space for every 25 gross square feet of floor area in the public rooms, and one space for each
	employee on the major shift, and one space for each business vehicle
Furniture store	2 spaces per 1,000 square feet of gross floor area and 1 space for each employee, except this
	does not apply to the furniture section of a department store or a furniture store located in a
	regional shopping center
Guest room in a country inn, tourist home	1 space for each guest room or suite
Health clubs	5 spaces per 1,000 square feet of floor area devoted to patron use, except when located within
	an office building, 3.5 spaces

Heliport/helistop	As required by the Board of Appeals
Hospice	1 space for each bed, plus 1 space for every 2 employees on the largest shift, plus 1 space for
	an ambulance or delivery vehicle
Hospital	1 space per 1,000 square feet of total floor area, plus 1 space for each resident doctor, plus
	adequate reserved space for visiting staff doctors, plus 1 space for every 3 employees on the
	largest shift
Hotel, motel, inn	.5 spaces for each guest room plus 10 spaces per 1,000 square feet of gross floor area used for
	places of assembly if located in a central business district or transit development area; For all
	other districts .7 spaces for each guest room, plus 10 spaces per 1,000 square feet of gross floor
	area used for places of assembly
Housing and related facilities for senior adults	Parking based on number of bedrooms and location of facility. See chart at Article E: Page 59E-
or persons with disabilities	28
Individual living unit in a personal living	1 space
quarters	
	1.5 spaces per 1,000 square feet of total floor area
warehouse	
Meeting center	10 spaces per 1,000 square feet of net floor area used for ballrooms and meeting rooms; and
iviceting tenter	2.5 spaces per 1,000 square feet of net floor area used for foyers and other space
Nursing home	1 space for every 4 beds and one space for every 2 employees on the largest work shift
Offices, general and professional buildings	See Section 49-E-3.2
Office, medical practitioner	4 spaces for each practitioner in each office
Office, professional, nonresidential	5 spaces per 1,000 square feet of gross floor area used by medical practitioners; 2.5 spaces per
	1,000 square feet of gross floor area used by all other professionals
Office, professional (other than medical	2 spaces for each professional person in each office
practitioner)	
Place of worship	One space for each 4 persons for whom seating is provided in the main auditorium, provided
	that the number of spaces is not reduced by more than 30% of the facility is located within 500
	feet of any public parking lot; see Article: Page 59E-25 for further details
	100 spaces
Railroad station, bus depot or other passenger	100 spaces
Railroad station, bus depot or other passenger terminal	100 spaces

	courts shall require 3.5 spaces per court
Regional shopping centers	5.5 spaces per 1,000 square feet of gross leasable square feet; parking requirements for
	separate standing office and professional buildings shall be as set forth under the category in
	this subsection
Restaurants	25 spaces per 1,000 square feet of floor area devoted to patron use within the establishment
	and 15 spaces per 1,000 square feet of ground area located outside the establishment
Retail establishments, auxiliary	3.5 spaces for each 1,000 square feet of gross leasable space
Retail, general	5 spaces per 1,000 square feet of gross leasable square feet; all storage space that exceeds 35%
	of the total gross leasable area shall be excluded from this calculation
Self-storage facility	3 spaces per 1,000 square feet of gross floor area, plus 1 space for each employee, plus 2
	spaces for a resident manager
Swimming pool, commercial	1 space for every 4 persons legally permitted to occupy the pool
Swimming pool, community	1 space for every 7 persons legally permitted to occupy the pool
Theaters, indoor or legitimate	1 space for every 4 seats or similar vantage accommodations provided

# zoningdiscovery



montgomery county planning department
The Maryland-National Capital Park and Planning Commission

Technical **Appendix**