

# ARTICLE 59-4. ZONING DISTRICT REGULATIONS

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## Div. 4.1. Rules for All Zones

### Sec. 4.1.1. Development Options

To encourage variety and design innovation and provide flexibility, the following types of development options are allowed.

#### A. Standard Method (see Div. 4.2 and Div. 4.3)

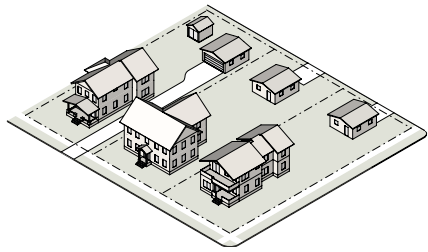
The standard method of development contains the base regulations for all zones, providing the basic framework for development. Development of more than 20 residential units must provide a minimum 12.5% Moderately Priced Dwelling Units (MPDU) in accordance with chapter 25A of the Montgomery County Code. Provision of more than 12.5% MPDUs or provision of MPDUs for less than 20 units of development, is an optional method of development.

#### B. Optional Method (see Div. 6.1 - 6.6)

The optional methods of development contain alternative regulations for the zones in which the method is allowed.

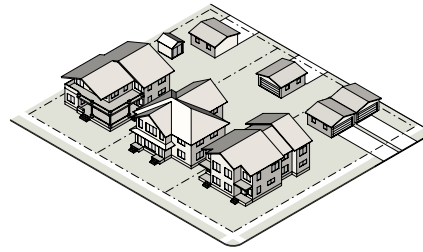
### Sec. 4.1.2. Building Type Descriptions

The following building types have been established to allow for detailed regulation of form applicable to development within each zone. All graphic depictions of building types are for illustrative purposes only and are not meant to limit or exclude other designs.



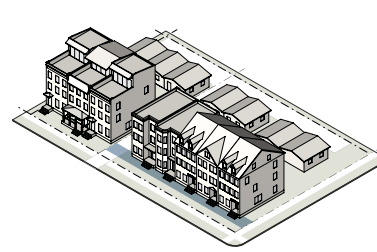
#### A. Detached House

A building typically containing one dwelling unit located on a single lot.



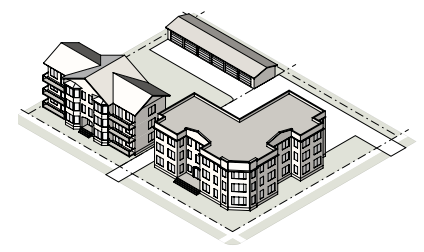
#### B. Duplex

A building containing two dwelling units arranged one above the other, side by side, or back to back.



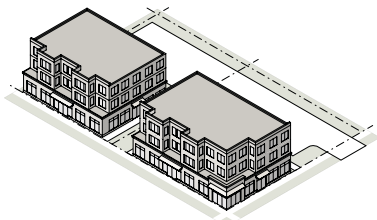
#### C. Townhouse

A building containing three or more dwelling units where each dwelling unit is separated vertically by a party wall. Units may be placed on individual lots, or the entire building (or project) may be placed on a single lot.



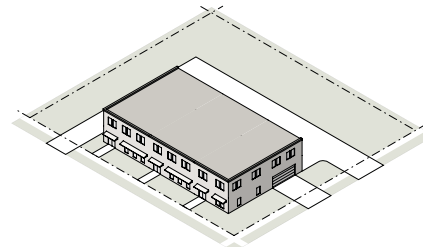
#### D. Apartment/Condo

A building containing three or more dwelling units vertically and horizontally integrated.



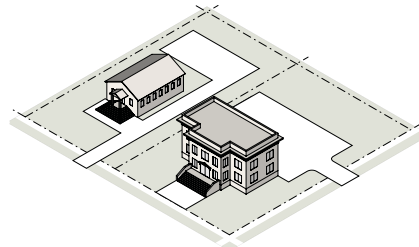
#### E. Mixed Use Building

A building containing ground floor commercial uses with upper-story residential or office uses.



#### F. General Building

A building intended primarily for nonresidential uses.

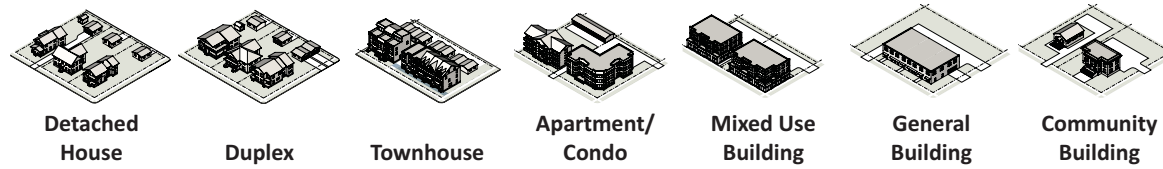


#### G. Community Building

A building intended for civic, institutional or public uses.

### Sec. 4.1.3. Building Types Allowed by Zone

Building types are allowed by zone as set forth below.



	Detached House	Duplex	Townhouse	Apartment/Condo	Mixed Use Building	General Building	Community Building
<b>Agricultural &amp; Rural Zones</b>							
Agricultural Conservation (AC)	A	--	--	--	--	A	A
Rural Residential (RR)	A	--	--	--	--	A	A
Rural Cluster (RC)	A	--	--	--	--	A	A
Rural Neighborhood Cluster (RNC)	A	MPDU	A	--	--	A	A
<b>Residential Detached Zones</b>							
Residential Estate - 2 (RE-2)	A	MPDU	MPDU	--	--	A	A
Residential Estate - 1 (RE-1)	A	MPDU	MPDU	--	--	A	A
Residential Low Density - 20 (RLD-20)	A	MPDU	MPDU	--	--	A	A
Residential Medium Density - 9 (RMD-9)	A	MPDU, CD	MPDU, CD	--	--	A	A
Residential Medium Density - 6 (RMD-6)	A	MPDU, CD	MPDU, CD	--	--	A	A
<b>Residential Townhouse Zones</b>							
Townhouse Low Density (TLD)	A	A	A	--	--	A	A
Townhouse Medium Density (TMD)	A	A	A	--	--	A	A
Townhouse High Density (THD)	A	A	A	--	--	A	A
<b>Residential Multi-Unit Zones</b>							
Residential High Density - 3 (RHD-3)	A	A	A	A	--	A	A
Residential High Density - 2 (RHD-2)	A	A	A	A	--	A	A
Residential High Density - 1 (RHD-1)	A	A	A	A	--	A	A
<b>Commercial/Residential Zones</b>							
CR Neighborhood (CRN)	A	A	A	A	A	A	A
CR Town (CRT)	A	A	A	A	A	A	A
CR (CR)	A	A	A	A	A	A	A
<b>Employment Zones</b>							
Employment General (EG)	--	--	A	A	A	A	A
Employment Life Science (ELS)	A	A	A	A	A	A	A
Employment Office (EOF)	--	--	A	A	A	A	A
<b>Industrial Zones</b>							
Light Industrial (IL)	--	--	--	--	A	A	A
Heavy Industrial (IH)	--	--	--	--	A	A	A

**KEY:** A = Allowed to accommodate permitted, limited and conditional uses    -- = Not allowed    CD = Allowed as part of an Optional Method Cluster Development  
 MPDU = Allowed as part of an Optional Method MPDU Development, only where there is access to public water and sewer

## Sec. 4.1.4. Measurement and Exceptions

The following rules apply to all zones unless expressly stated otherwise.

### A. Site

#### 1. Defined

Any tract of land or contiguous tract of land owned or functionally controlled by the same person or entity, assembled for the purpose of development.

#### 2. Density

- a. The maximum permitted density is measured by the number of dwelling units allowed per building type, per gross acre of land.
- b. Gross land area is the total of the site area or lot area and any existing or proposed streets, highways, or other land required for public use that is attributable to the site dedicated by the owner or a predecessor in title.

### B. Lot

#### 1. Defined

A subdivided tract of land including any buildings, accessory buildings and any associated open spaces.

#### 2. Lot Area

The area included within the rear, side and front property lines. Does not include existing or proposed public or private right-of-way, whether dedicated or not dedicated to public use.

#### 3. Lot Width

##### a. At the Front Property Line

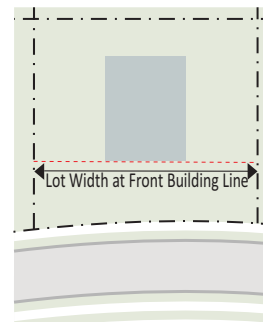
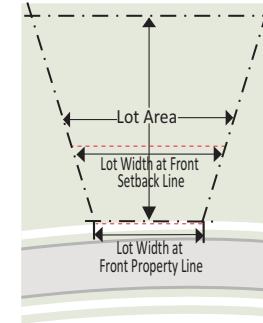
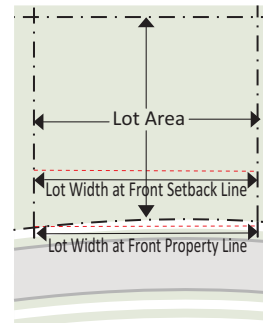
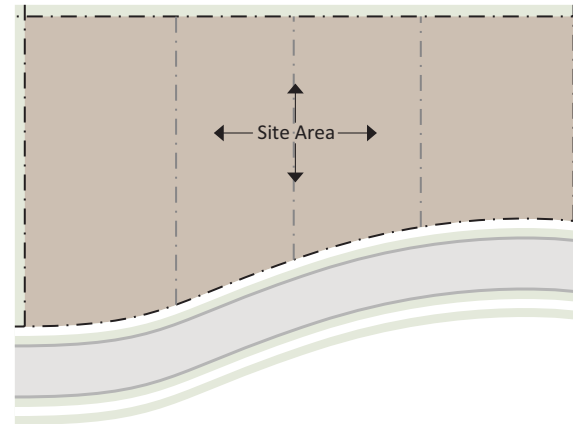
Measured between the side property lines at the front property line along a straight line. Where the front property line is curved, measured along the chord of the lot line.

##### b. At the Front Setback Line

Measured between the side property lines at the front setback line along a straight line.

##### c. At the Front Building Line

Measured between the side property lines at the front edge of the building, along a straight line.



## C. Placement

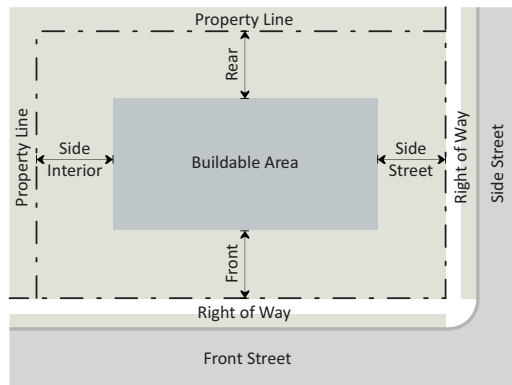
### 1. Building Setbacks

#### a. Defined

There are four types of setbacks – front, side street, side interior and rear. Through lots are considered to have two front setbacks.

#### b. Measurement of Setbacks

- i. Front and side street setbacks are measured from the edge of the right-of-way.
- ii. Side interior setbacks are measured from the side property line.
- iii. Rear setbacks are measured from the rear property line or the edge of the right-of-way where there is an alley.
- iv. On a corner lot, the front or side setback is the greater of the standards established in [Sec. 4.2](#) and [Sec. 4.3](#) or the established building line.



### 2. Corner Lots

In determining the address, the following conditions must be considered:

- a. The street with the highest street classification;
- b. The established orientation of the block;
- c. The street abutting the longest face of the lot; and
- d. The street parallel to an alley within the block.

## 3. Parking Setbacks

### a. Defined

There are four types of parking setbacks – front, side street, side interior and rear parking setbacks. Through lots are considered to have two front parking setbacks.

### b. Measurement of Parking Setbacks

- i. Front and side street parking setbacks are measured from the edge of the right-of-way.
- ii. Side interior parking setbacks are measured from the side property line.
- iii. Rear parking setbacks are measured from the rear property line or the edge of the right-of-way if there is an alley.

### c. Parking Not Allowed

On-site surface and structured parking must be located behind the parking setback line. The parking setback applies to the ground story only.

## 4. Coverage

### a. Defined

- i. The area of a lot or site that is permitted to be covered by buildings, including accessory buildings, structured parking, roofed porches, patios, decks and steps.
- ii. Building coverage does not include paved areas such as driveways, pedestrian walkways, uncovered porches or patios, decks, swimming pools or roof overhangs.

### b. Maximum Coverage for Greenhouses

On a lot or parcel where agricultural products are grown predominantly in greenhouses, a maximum lot coverage of 40% is allowed, subject to the following:

- i. Any increase above 10% must consist entirely of greenhouses,
- ii. The plan receives site plan approval under [Div. ##](#).

## 5. Setback Encroachments

All buildings and structures must be located at or behind the required building setbacks lines, except as listed below.

### a. Building Features

- i. Unenclosed porches, decks and terraces may project not more than three feet into any side street or side interior setback and may project not more than nine feet into any front or rear setback. Unenclosed porches and terraces may be roofed.
- ii. Unenclosed steps and stoops may project not more than three feet into any side street or side interior setback and may project not more than six feet into any front or rear setback. Unenclosed steps and stoops may be roofed.
- iii. Unenclosed balconies may extend up to six feet into a required setback, provided that such extension is at least two feet from the vertical plane of any lot line.
- iv. Sills, leaders, belt courses, and similar ornamental features may project not more than six inches into any front, side street, side interior or rear setback. Where a wall is located on a property line, such projections may extend across a property line in accordance with provisions contained in **Section 50-20 of the subdivision regulations** concerning limitations on issuance of building permits.
- v. Chimneys or flues as part of a detached house, duplex, or townhouse may project not more than two feet into any front, side street, side interior or rear setback.
- vi. Chimneys or flues as part of an apartment/condo, mixed use or general building may project not more than four feet into any front, side street, side interior or rear setback, provided such extension remains at least two feet from the vertical plane of any lot line.

- vii. Building eaves, cornices and light shelves may project not more than 2 ½ feet into any front, side street, side interior or rear setback, provided such extension remains at least two feet from the vertical plane of any lot line. Where a wall is located on a property line, such projections may extend across a property line in accordance with provisions contained in **Section 50-20 of the subdivision regulations** concerning limitations on issuance of building permits.
- viii. Bay windows, oriels, entrances, vestibules, or balconies, ten feet in width or less, may project not more than three feet into any front, side street, side interior or rear setback.
- ix. Unenclosed fire escapes and outside stairways may project not more than five feet into any side street, side interior or rear setback.

### b. Mechanical Equipment and Utility Lines

- i. Mechanical equipment associated with residential uses, such as HVAC units and security lighting may project not more than five feet into any rear setback.
- ii. Sustainable energy systems may not project more than three feet into any side street, side interior or rear setback.
- iii. Permanent rainwater collection or harvesting systems may not project more than three feet into any side street, side interior or rear setback.

### c. Other Encroachments

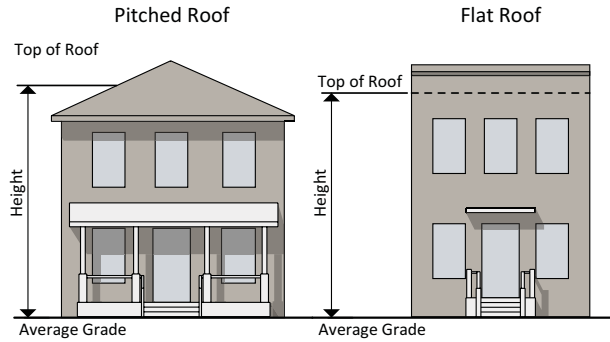
- i. Fences and walls as set forth in **Section 59-6 (General Development Standards)**.
- ii. Handicap ramps to the extent necessary to perform their proper function.



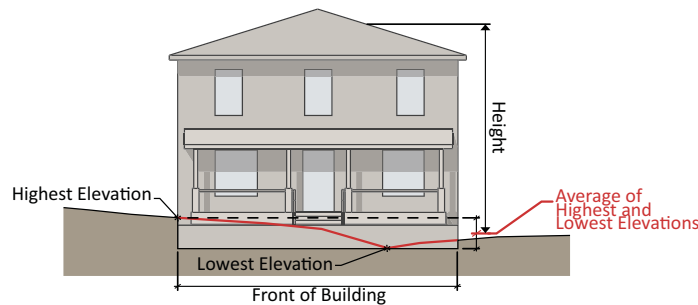
**D. Height**

**1. Building Height in Agricultural, Rural and Residential Zones**

- a. Building height is measured from the average grade to the mean height level between the eaves and ridge of a gable, hip, mansard, or gambrel roof or to the highest point of roof surface of a flat roof.

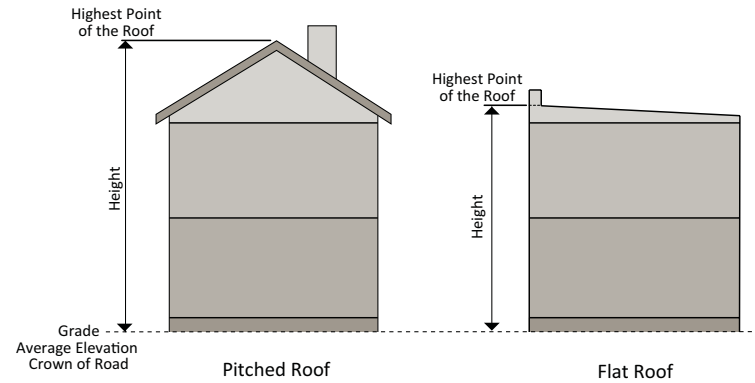


- b. Average grade is determined by calculating the average of the highest and lowest elevation along natural or finished level of ground (whichever is more restrictive) along the front of the building parallel to the front setback line.



**2. Building Height in Commercial/Residential, Employment and Industrial Zones**

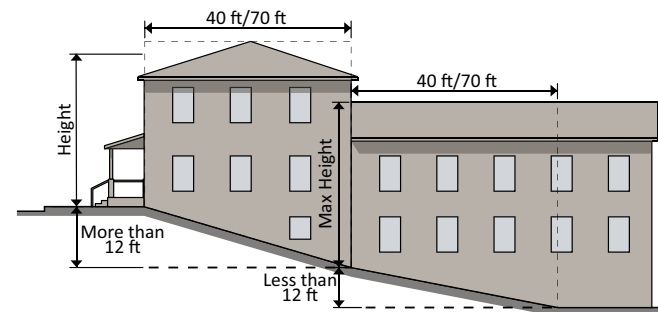
- a. Building height is measured from grade to the highest point of the roof.



- b. Grade is measured as the average elevation of the crown of the public road opposite the front of the building. In a lot with more than one frontage, grade is measured as the average elevation of the crown along each frontage.

**3. Sloped Lots**

- a. For detached house, duplex and townhouse building types, where a lot slopes downward from the front property line more than 12 feet along the side of the first 40 feet of the principal building, the height of the building past that point must be reduced by at least the drop in grade in the first 40 feet of the building, and for each successive 40-foot increment after that.



- b. For all other building types, where a lot slopes downward from the front property line more than 12 feet along the side of the first 70 feet of the principal building, the height of the building past that point must be reduced by at least the drop in grade in the first 70 feet of the building, and for each successive 70-foot increment after that.

**4. Height Encroachments**

Any height encroachment not specifically listed is expressly prohibited.

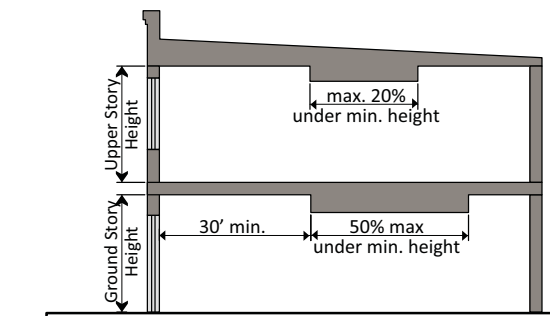
- a. The following roof structures cannot occupy more than 25% of the roof area: spires, belfries, cupolas, domes not intended for human occupancy, chimneys, flue or vent stacks, flagpoles, monuments, water tanks, television antennae or aerials, air conditioning units or similar structures or mechanical appurtenances.
- b. The maximum heights do not apply to roof structures listed in paragraph a. above, except in the TLD, TMD, THD and RHD-3 zones, air conditioning units or similar structures or mechanical appurtenances may exceed the established height limit by not more than eight feet.
- c. The following may exceed the established height limits, except when located within an airport approach area, provided they do not exceed the maximum height limit by more than eight feet:
  - i. Rooftop deck, patio, shade structure;
  - ii. Rooftop garden, landscaping;
  - iii. Parapet wall, limited to a height of four feet;
  - iv. Rooftop rainwater collection or harvesting systems; and
  - v. Rooftop sustainable energy systems, such as solar panels or wind turbines.
- d. The following may exceed the established height limits, except when located within an airport approach area, provided they do not exceed the maximum building height by more than eight feet, do not occupy more than 25% of the roof area, and are set back at least ten feet from

the edge of the roof. The Planning Board may increase the percentage of occupied roof area where a site plan is reviewed and approved.

- i. Elevator penthouse or bulkhead;
- ii. Skylights;
- iii. Stairway access to roof; and
- iv. Tank designed to hold liquids.
- e. An accessory structure located on the roof must not be used for any purpose other than a use incidental to the principal use of the building.
- f. The maximum heights do not apply to agricultural buildings in the AC, RR, RC and RNC zones.

**E. Story Height**

1. Story height is measured from the top of the finished floor to the ceiling above.
2. Minimum ground story height applies to the first 30 feet of the building measured inward from the street facing facade. At least 50% of the ground story must meet the minimum height provisions.
3. Where applicable, at least 80% of each upper story must meet the required minimum upper story height provisions.



## F. Form

The building form requirements are intended to enhance the pedestrian area along commercial building frontages.

### 1. Transparency

- The minimum percentage of windows and doors that must cover a ground story facade is measured between 0 and 12 feet above the adjacent sidewalk.
- The minimum percentage of windows and doors that must cover an upper story facade is measured from top of the finished floor to the top of the finished floor above. When there is no floor above it is measured from the top of the finished floor to the top of the wall plate.

### 2. Blank Wall

- Blank wall means a portion of the exterior facade of the building that does not include a substantial material change (paint color is not considered a substantial change); windows or doors; or columns, pilasters or other articulation greater than eight inches in depth.
- Blank wall applies in both a vertical and horizontal direction.
- Blank wall applies only to street facing facades.

## G. Building Elements

### 1. Porch

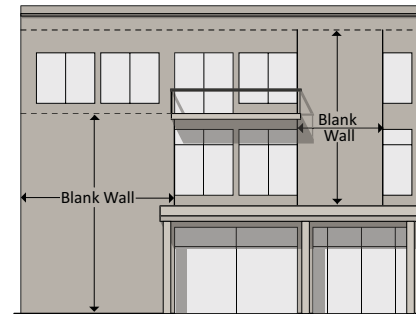
A raised structure attached to a building, forming a covered entrance to a doorway. A porch must be roofed but cannot be fully enclosed.

### 2. Stoop

A small raised platform that serves as an entrance to a building. A stoop may be covered but cannot be fully enclosed.

### 3. Balcony

A platform projecting from the wall of a building with a railing along its outer edge, often with access from a door or window. A balcony may be covered but cannot be fully enclosed.



### 4. Gallery

A covered passage extending along the outside wall of a building supported by arches or columns that is open on one side. A gallery must have a clear height above the sidewalk of at least ten feet. A gallery must be contiguous and extend over at least 50% of the width of the building facade from which it projects.

### 5. Awning

A wall-mounted, cantilevered structure providing shade and cover from the weather for a sidewalk. An awning must be a minimum of ten feet clear height above the sidewalk.

## Sec. 4.1.5. Residential Infill Compatibility

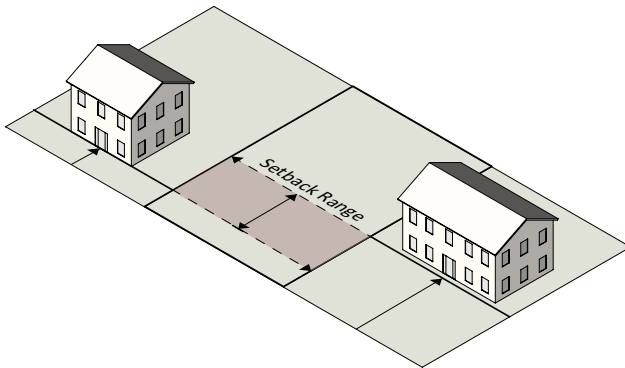
### A. Applicability

The standards outlined in [Sec. 4.1.5.B](#) through [Sec. 4.1.5.E](#) apply to any building or construction in a RLD-20, RMD-9 or RMD-6 zone where:

1. The lot was created:
  - a. By a plat recorded before January 1, 1978; or
  - b. By a plat of resubdivision that created fewer than six lots from a lot previously created by a plat recorded before January 1, 1978; and
2. The lot is less than 25,000 square feet in area.

### B. Front Setback Range

1. The front setback range is measured on the basis of the lots immediately adjacent to the subject lot (the closest lot in either direction along the block).
2. The front wall of the building must be located within the front setback range (no closer than the narrowest setback and no further than the deepest setback).
3. Where the calculation of the front setback range is not practicable, the front setback must meet the front setback for the zone.



### C. Height

#### 1. Side Setback Plane

Any building is subject to a side setback plane starting at 15 feet in height at the side setback line, and extending inward and upward at a 45 degree angle.

#### 2. Rear Setback Plane

Any building is subject to a rear setback plane starting at 15 feet in height at the rear setback line, and extending inward and upward at a 45 degree angle.

#### 3. Projections into Setback Planes

##### a. Side-Gabled Roof

A side-gabled roof structure may project beyond the side setback plane on each side of the building, for a total length of not more than 30 feet

##### b. Dormers

Dormers may project beyond the side setback plane for a total length of not more than 15 feet on each side of the building.

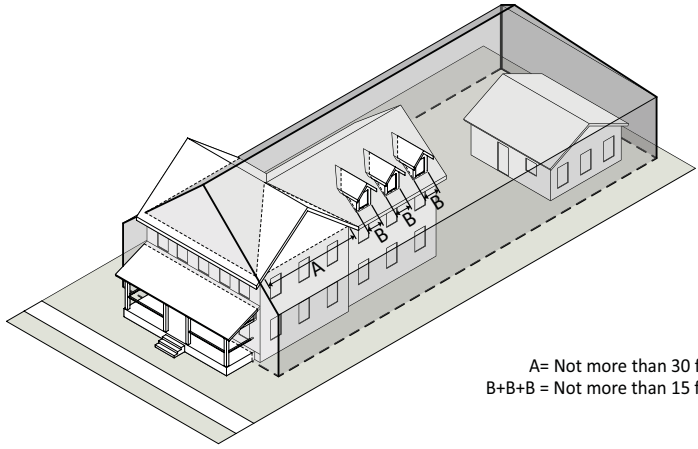
### D. Side Wall Length

1. Articulation is required for side walls on additions or new construction that are 15 feet or taller and located within 15 feet of the side lot line. No wall may extend for more than 40 feet without a projection or recession of at least four feet in depth and ten feet in length.
2. A second story addition is not required to meet the articulation requirements if the existing first floor does not meet the articulation requirements of paragraph 1. above.

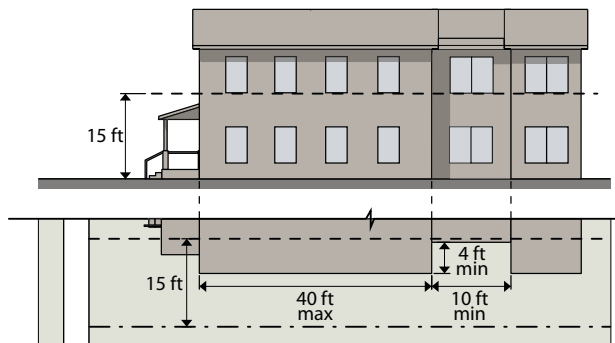
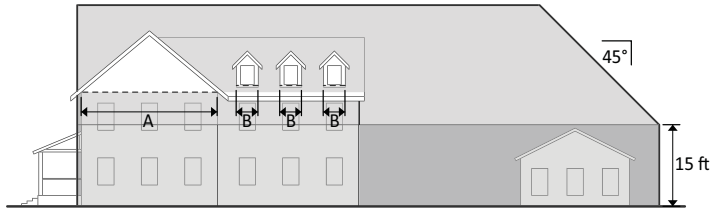
### E. Building Coverage

In the following zones all roofed buildings and structures may not cover more than the following percentages of lot area:

1. RLD-20: 20%
2. RMD-9: 30%
3. RMD-6: 30%

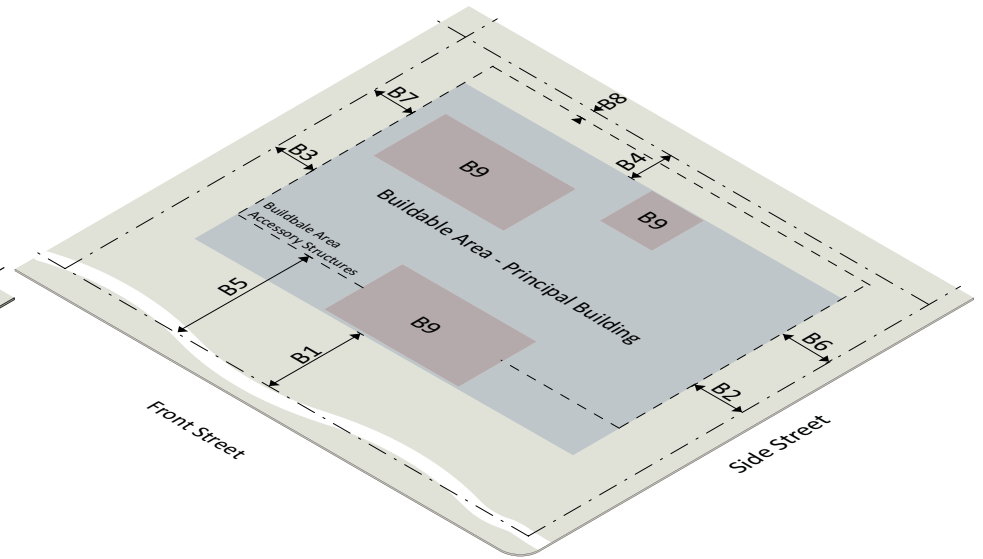
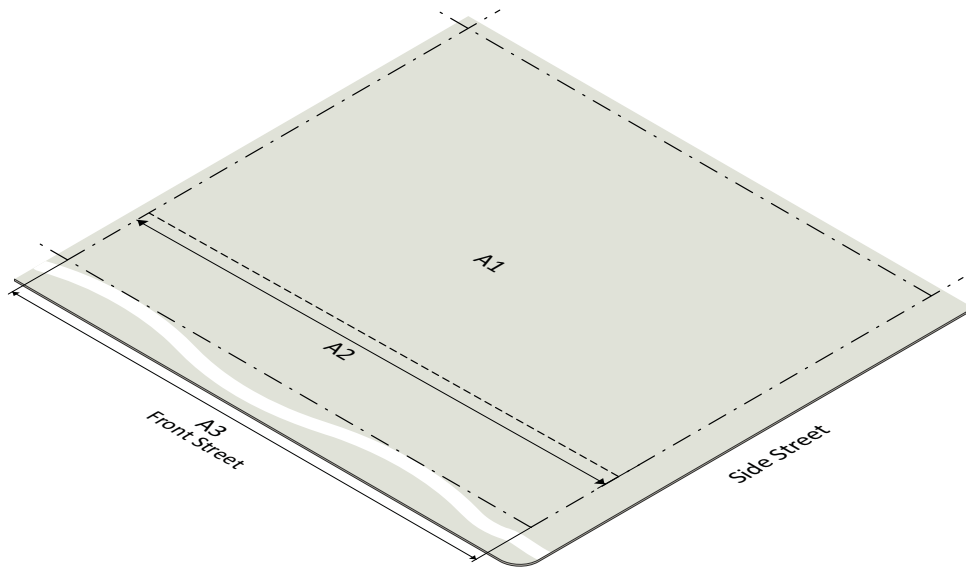


A= Not more than 30 ft  
B+B+B = Not more than 15 ft



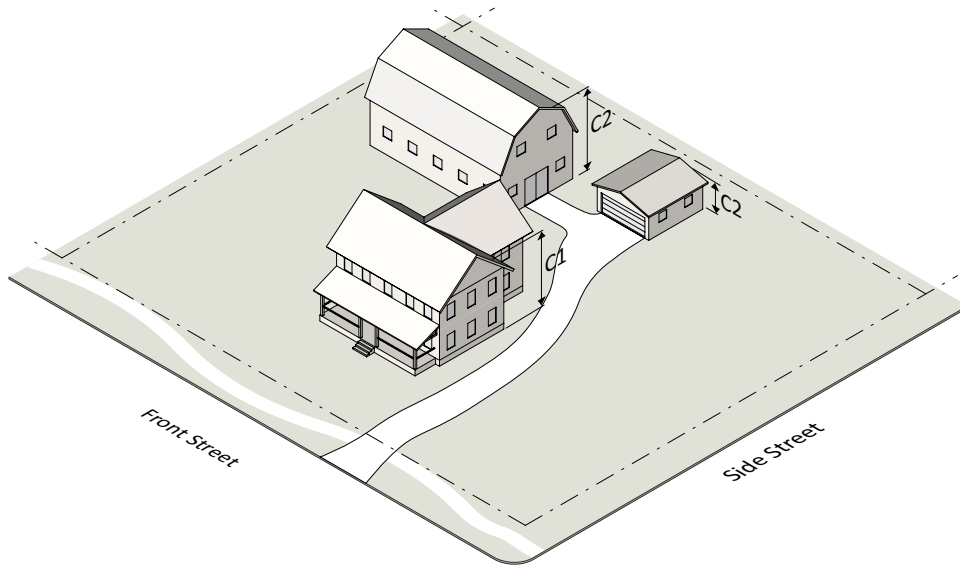
## Div. 4.2. Agricultural and Rural Zones

### Sec. 4.2.1. Detached House



A. Lot	AC	RR	RC	RNC
<b>Basic Lot Alternative</b>				
A1 Lot area (min)	40,000 sf	5 acres	5 acres	n/a
A2 Lot width at front building line (min)	125'	300'	300'	n/a
A3 Lot width at front property line (min)	25'	25'	300'	n/a
A4 Density (units/acre)	1/25	1/5	1/5	n/a
<b>Flexible Lot Alternative</b>				
A1 Lot area (max)	3 acres	n/a	n/a	n/a
A2 Lot width at front building line (min)	125'	n/a	n/a	n/a
A3 Lot width at front property line (min)	25'	n/a	n/a	n/a
A4 Remainder of site placed in conservation or agricultural easement such that only 1 dwelling unit exists per 25 acres	yes	n/a	n/a	n/a
<b>Cluster Alternative</b>				
A1 Lot area (min)	n/a	n/a	40,000 sf	25,000 sf
A2 Lot width at front building line (min)	n/a	n/a	125'	100'
A3 Lot width at front property line (min)	n/a	n/a	25'	25'
A4 Density (units/acre)	n/a	n/a	1/5	1/5
A5 Percent of property reserved for open space or uses designated on the use table	n/a	n/a	60%	60%

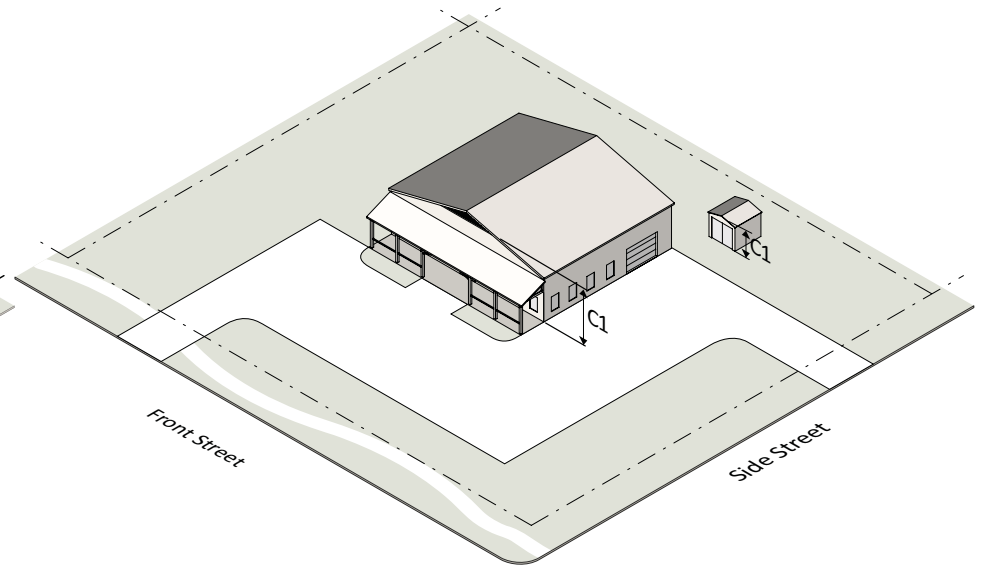
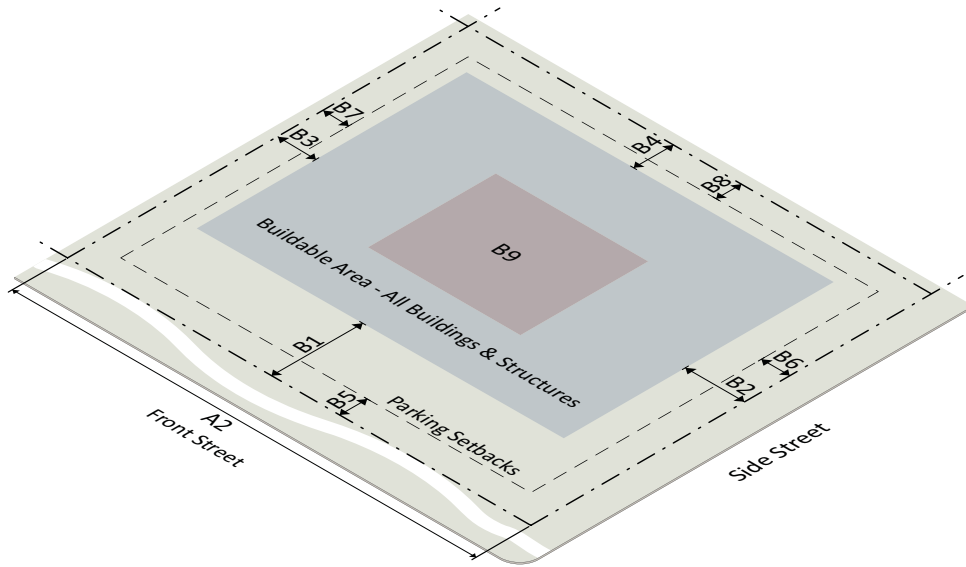
B. Placement	AC	RR	RC	RNC
<b>Principal Building Setbacks (min)</b>				
B1 Front setback	50'	50'	50'	40'
B2 Side street setback	50'	50'	50'	50'
B3 Side interior setback	20'	20'	20'	15'
B4 Rear setback	35'	35'	35'	35'
<b>Accessory Structure Setbacks (min)</b>				
B5 Front setback	50'	80'	80'	80'
B6 Side street setback	50'	50'	50'	50'
B7 Side interior setback	15'	15'	15'	15'
B8 Rear setback	15'	15'	15'	15'
<b>Coverage (max)</b>				
B9 Basic lot: roofed buildings & structures	10%	10%	10%	n/a
B9 Flexible lot: roofed buildings & structures	20%	n/a	n/a	n/a
B9 Cluster lot: roofed buildings & structures	n/a	n/a	10%	10%



<b>C. Height</b>	<b>AC</b>	<b>RR</b>	<b>RC</b>	<b>RNC</b>
<b>Building Height (max)</b>				
C1 Principal building	50'	50'	50'	35'
C2 Accessory structures	50'	50'	50'	35'

<b>D. Child Lots</b>	<b>AC</b>	<b>RR</b>	<b>RC</b>	<b>RNC</b>
<b>Qualification</b>				
D1 Proof required	yes	n/a	n/a	n/a
<b>Density (max)</b>				
D2 Child lots allowed up to 25 acres	1	n/a	n/a	n/a
D3 Child lots allowed 70 to 120 acres	2	n/a	n/a	n/a
D4 Child lots allowed on more than 120 acres	3	n/a	n/a	n/a
D5 Lot size (max)	3 acres	n/a	n/a	n/a
<b>Placement &amp; Height</b>				
D6 Sec. 4.2.1B and C. applies	yes	n/a	n/a	n/a

Sec. 4.2.2. General Building

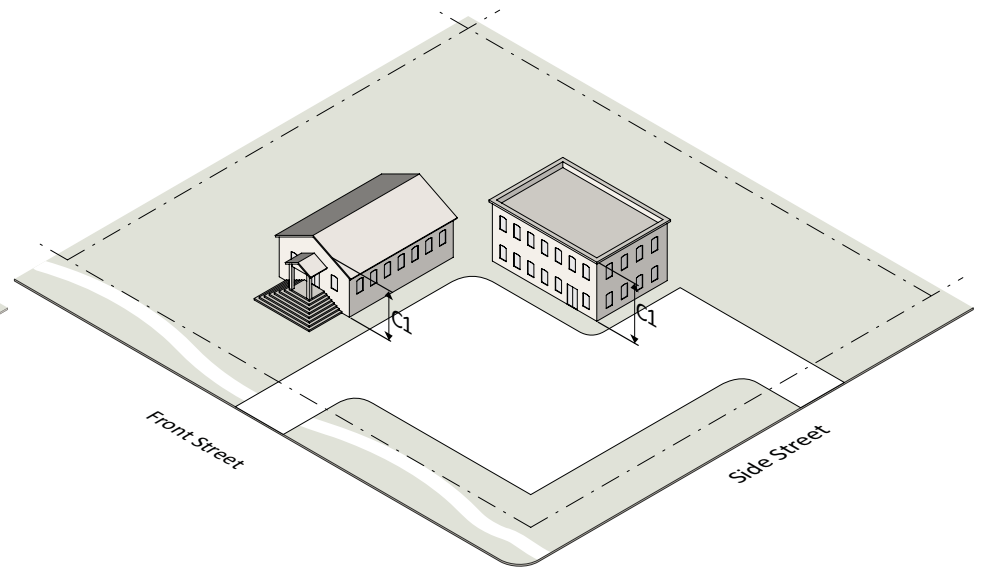
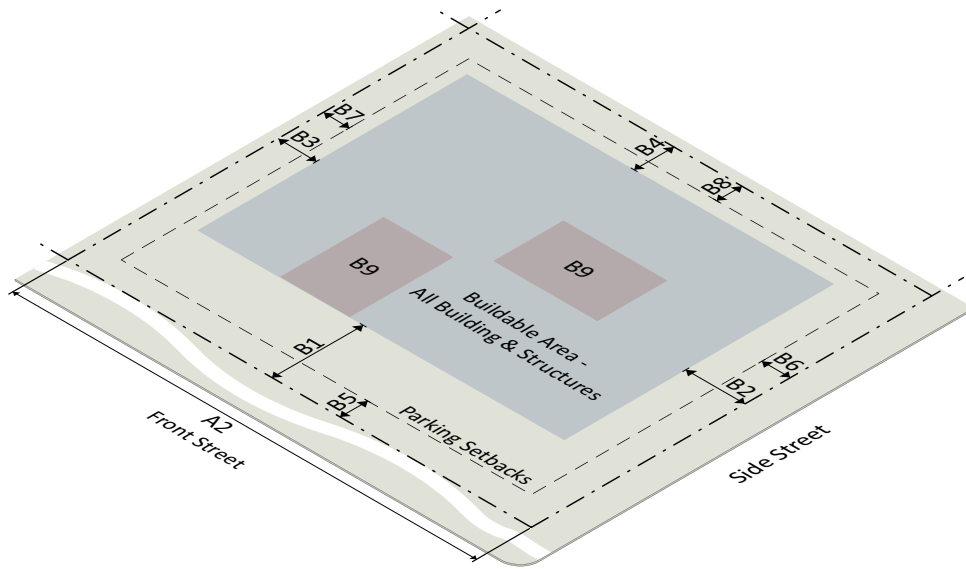


A. Lot	AC, RR, RC, RNC
<b>Dimensions (min)</b>	
A1 Lot area	5 acres
A2 Lot width at front property line	200'
<b>B. Placement</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front setback	50'
B2 Side street setback	50'
B3 Side interior setback	25'
B4 Rear setback	25'
<b>Parking Setbacks (min)</b>	
B5 Front setback	25'
B6 Side street setback	25'
B7 Side interior setback	25'
B8 Rear setback	25'
<b>Coverage (max)</b>	
B9 Roofed buildings & structures	10%

C. Height	AC, RR, RC	RNC
<b>Building Height (max)</b>		
C1 All buildings & structures	50'	35'



### Sec. 4.2.3. Community Building

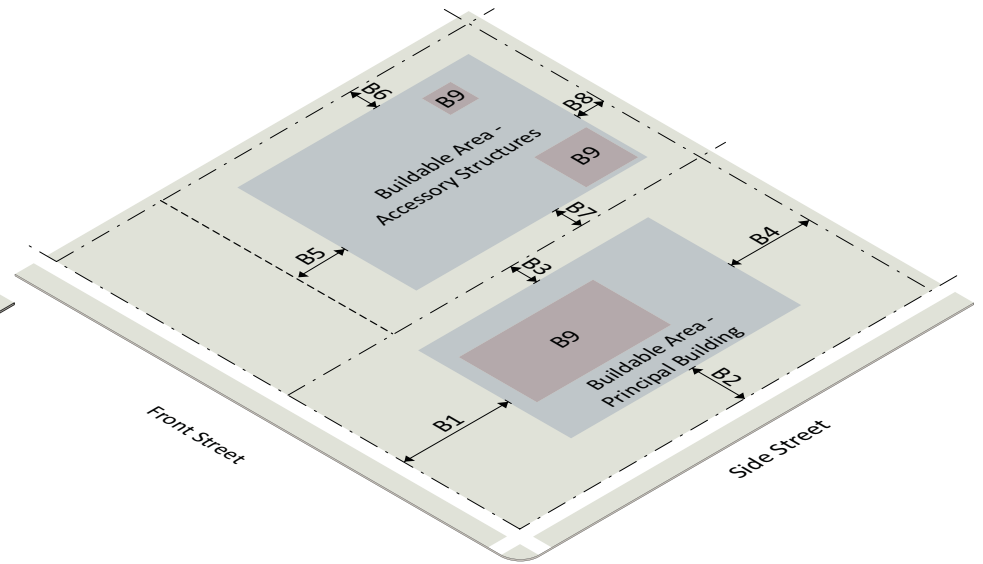
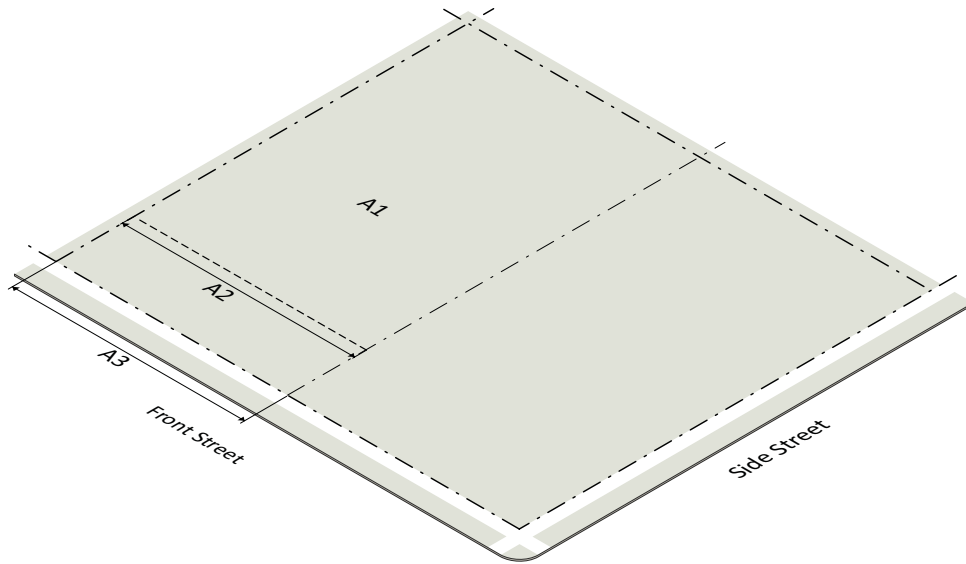


A. Lot	AC, RR, RC, RNC
<b>Dimensions (min)</b>	
A1 Lot area	5 acres
A2 Lot width at front property line	200'
<b>B. Placement</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front setback	50'
B2 Side street setback	50'
B3 Side interior setback	25'
B4 Rear setback	25'
<b>Parking Setbacks (min)</b>	
B5 Front setback	25'
B6 Side street setback	25'
B7 Side interior setback	25'
B8 Rear setback	25'
<b>Coverage (max)</b>	
B9 Roofed buildings & structures	10%

C. Height	AC, RR, RC	RNC
<b>Building Height (max)</b>		
C1 All buildings & structures	50'	35'

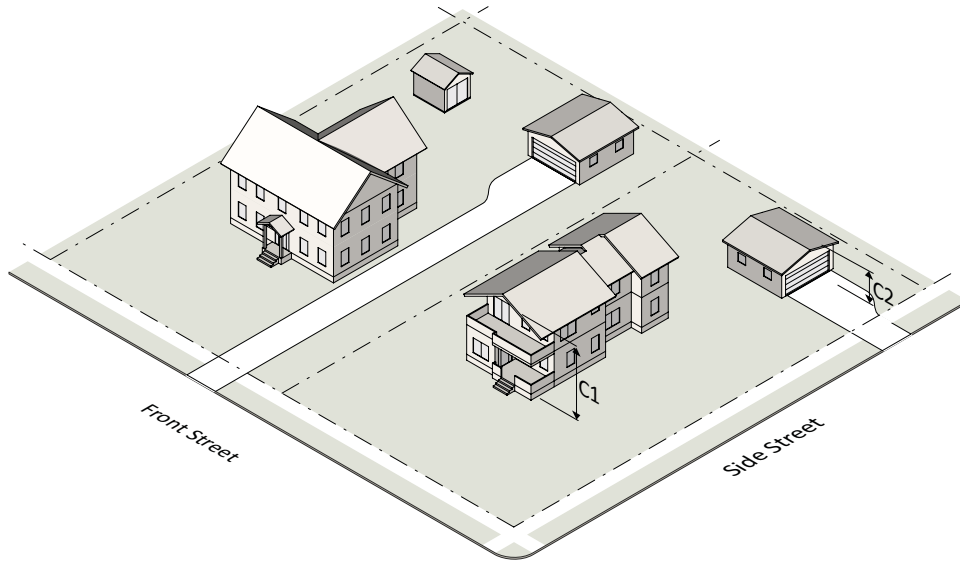
## Div. 4.3. Residential Zones

### Sec. 4.3.1. Detached House (1 of 2)



A. Lot	RE-2	RE-1	RLD-20	RMD-9	RMD-6
<b>Dimensions (min)</b>					
A1 Lot area	87,120 sf	40,000 sf	20,000 sf	9,000 sf	6,000 sf
A2 Lot width at front building line	150'	125'	100'	75'	60'
A3 Lot width at front property line	25'	25'	25'	25'	25'

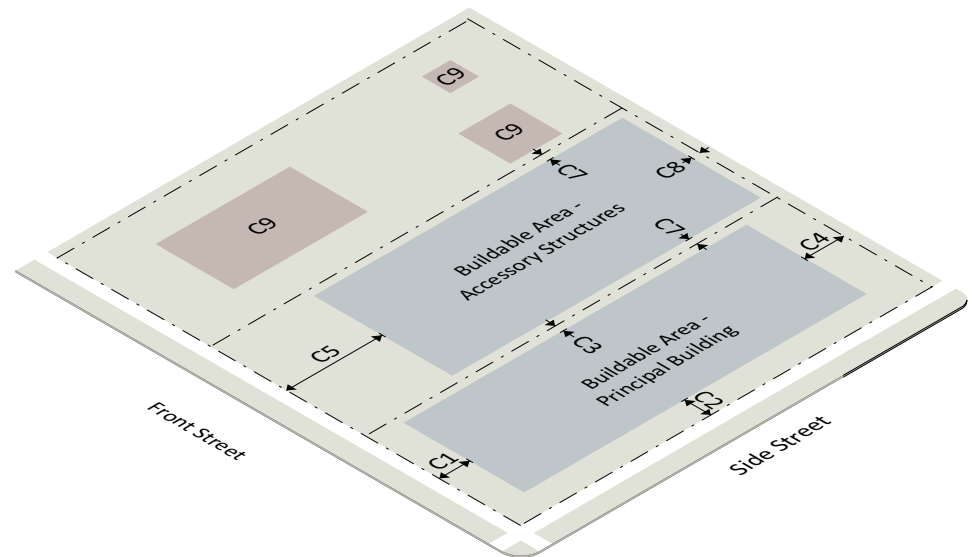
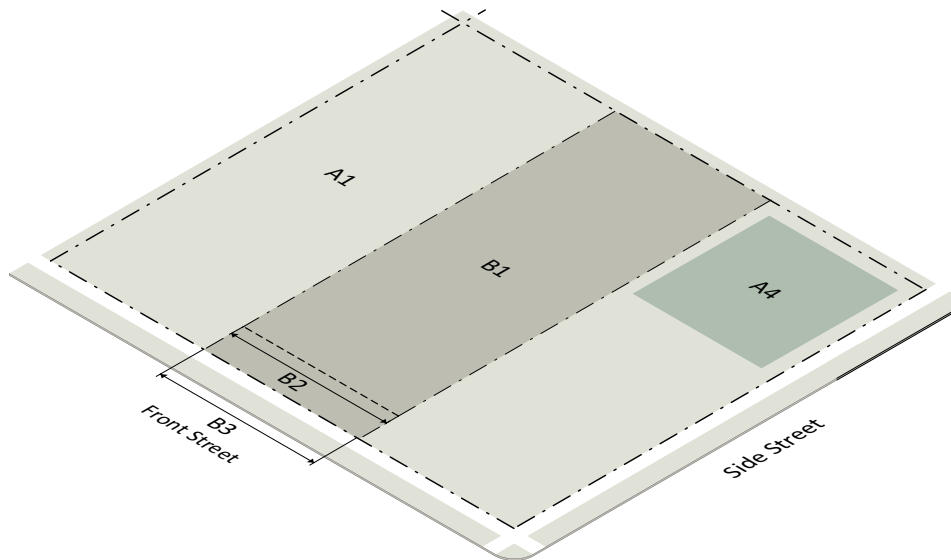
B. Placement	RE-2	RE-1	RLD-20	RMD-9	RMD-6
<b>Principal Building Setbacks (min)</b>					
B1 Front setback	50'	50'	40'	30'	25'
B2 Side street setback	20'	20'	15'	15'	15'
B3 Side interior setback	17'	17'	12'	8'	8'
B4 Rear setback	35'	35'	30'	25'	20'
<b>Accessory Structure Setbacks (min)</b>					
B5 Front setback, behind front building line	20'	20'	10'	10'	10'
B6 Side street setback	20'	20'	15'	15'	15'
B7 Side interior setback	15'	15'	12'	5'	5'
B8 Rear setback	10'	10'	7'	5'	5'
B8 Rear setback, alley	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min
<b>Coverage (max)</b>					
B9 Roofed buildings & structures	15%	15%	25%	30%	35%



**C. Height**

	RE-2	RE-1	RLD-20	RMD-9	RMD-6
<b>Building Height (max)</b>					
C1 Principal building	50'	50'	40'	35'	35'
C2 Accessory structure	50'	50'	35'	25'	25'

Sec. 4.3.2. Detached House (2 of 2)

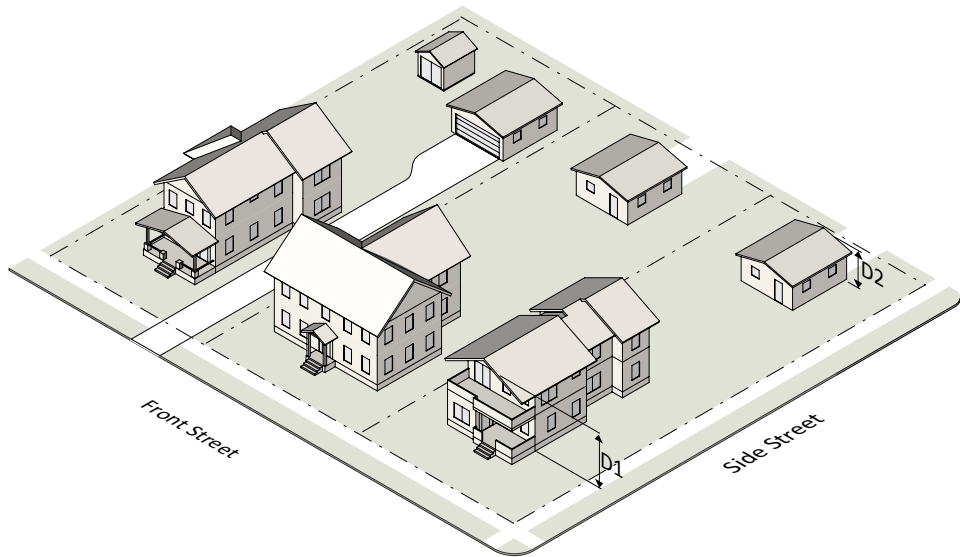


A. Site	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Dimensions (min)</b>						
A1 Site area	6,000 sf	12,000 sf	16,000 sf	12,000 sf	16,000 sf	20,000 sf
A2 Site area per unit	6,000 sf	4,300 sf	3,300 sf	3,600 sf	2,700 sf	2,100 sf
<b>Density (max)</b>						
A3 Density (units/acre)	7 u/a	10 u/a	13 u/a	12 u/a	16 u/a	20 u/a
<b>Coverage (min)</b>						
A4 Green area (% of site)	0%	10%	15%	15%	20%	25%

See Sec. ## for green area specifications.

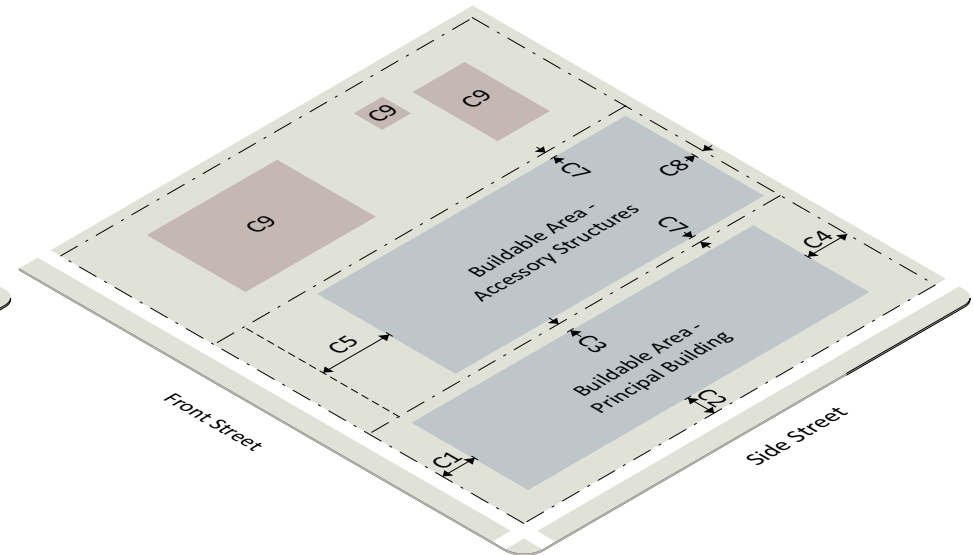
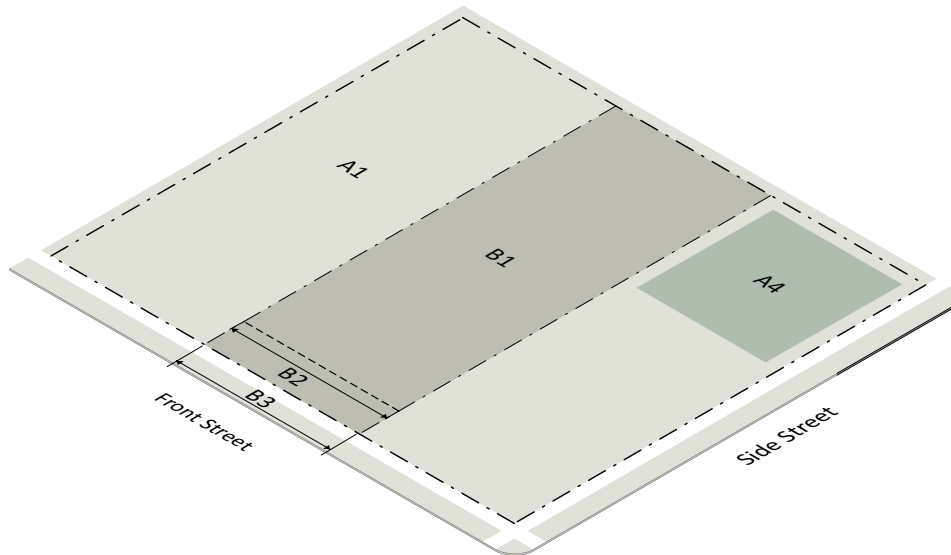
B. Lot	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Dimensions (min)</b>						
B1 Lot area	6,000 sf	4,000 sf	3,000 sf	3,000 sf	2,000 sf	1,000 sf
B2 Lot width at front building line	50'	40'	25'	25'	25'	25'
B3 Lot width at front property line	25'	25'	25'	25'	25'	25'

C. Placement	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Principal Building Setbacks (min)</b>						
C1 Front setback, public street	25'	25'	20'	20'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C1 Front setback, private street	25'	4' or 20'	4' or 20'	4' or 20'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C2 Side street setback	15'	15'	15'	15'	Abutting zone	Abutting zone
C3 Side interior setback, abutting a AG, RE, RLD, RMD zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone
C3 Side interior, abutting all other zones	0' or 5'	0' or 5'	0' or 5'	0' or 5'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C4 Rear setback	20'	20'	15'	15'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C4 Rear setback, alley	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min		
<b>Accessory Structure Setbacks (min)</b>						
C5 Front setback, behind front building line	10'	10'	5'	5'		
C6 Side street setback	15'	15'	15'	15'		
C7 Side interior/rear setback, abutting a AG, RE, RLD, RMD zone	5'	5'	5'	5'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C7 Side interior/rear setback, abutting all other zones	0' or 5'	0' or 5'	0' or 5'	0' or 5'		
C8 Rear setback, alley	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min		
<b>Coverage (max)</b>						
C9 Roofed buildings & structures	35%	40%	50%	50%	75%	90%



<b>D. Height</b>	<b>TLD</b>	<b>TMD</b>	<b>THD</b>	<b>RHD-3</b>	<b>RHD-2</b>	<b>RHD-1</b>
<b>Building Height (max)</b>						
D1 Principal building	35'	35'	35'	35'	35'	35'
D2 Accessory structure	25'	25'	25'	25'	25'	25'

### Sec. 4.3.3. Duplex

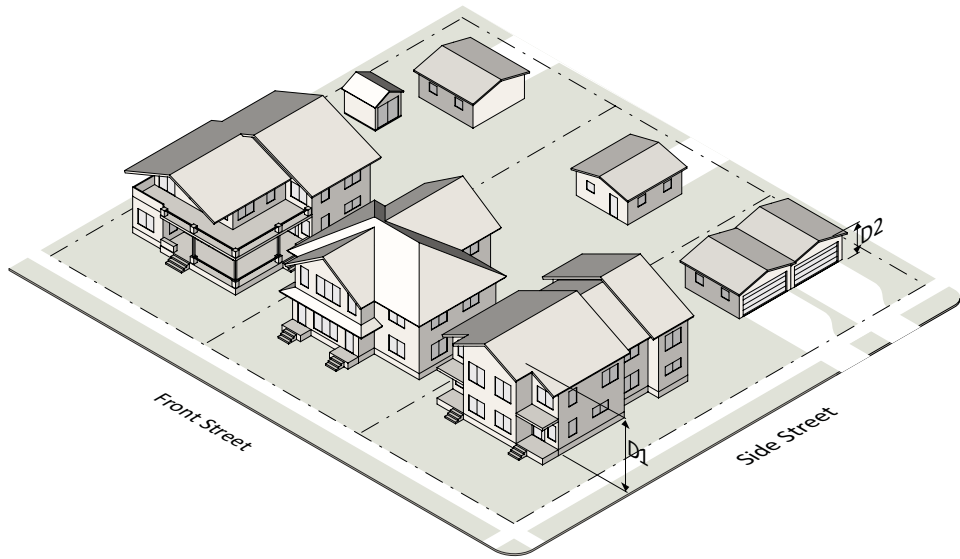


A. Site	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Dimensions (min)</b>						
A1 Site area	8,000 sf	8,000 sf	8,000 sf	8,000 sf	8,000 sf	8,000 sf
A2 Site area per unit	4,000 sf	3,000 sf	2,000 sf	2,000 sf	1,600 sf	800 sf
<b>Density (max)</b>						
A3 Density (units/acre)	8 u/a	11 u/a	14 u/a	14 u/a	20 u/a	30 u/a
<b>Coverage (min)</b>						
A4 Green area (% of site)	0%	0%	25%	25%	25%	25%

See **Sec. ##** for green area specifications.

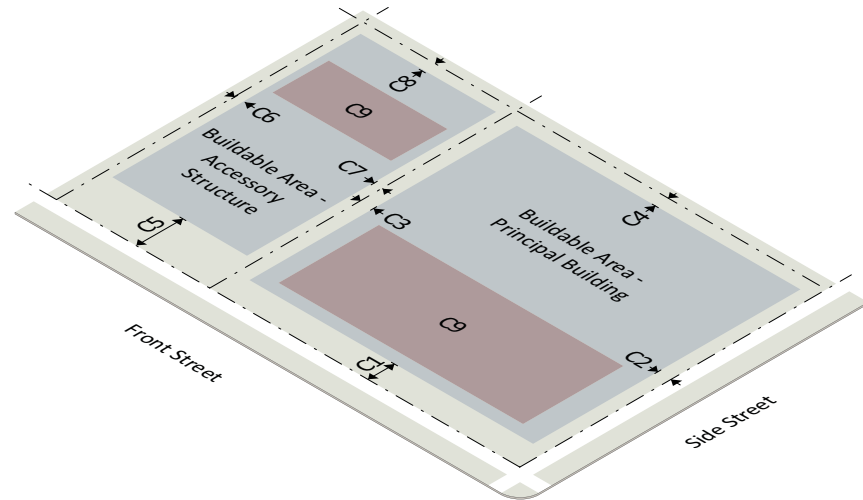
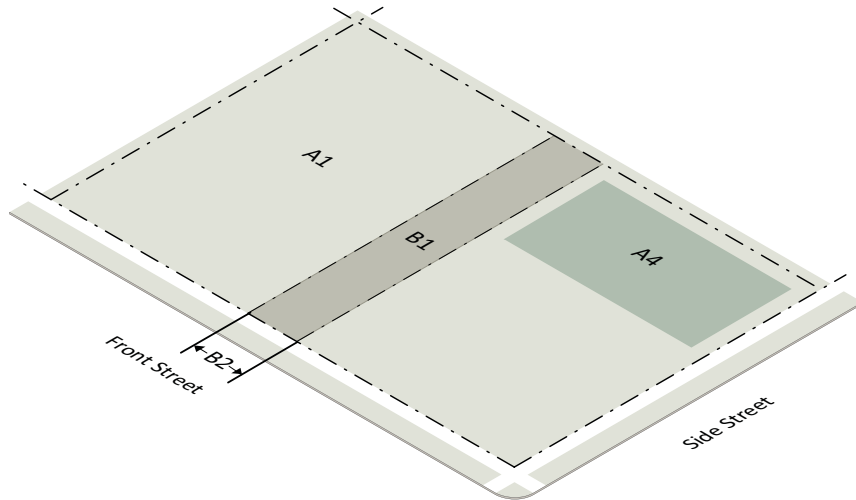
B. Lot	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Dimensions (min)</b>						
B1 Lot area	8,000 sf	6,000 sf	4,000 sf	4,000 sf	3,200 sf	1,600 sf
B2 Lot width at front building line	75'	60'	40'	40'	40'	40'
B3 Lot width at front property line	25'	25'	25'	25'	25'	25'

C. Placement	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Principal Building Setbacks (min)</b>						
C1 Front setback, public street	25'	25'	20'	20'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C1 Front setback, private street	25'	4' or 20'	4' or 20'	4' or 20'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C2 Side street setback	15'	15'	15'	15'	Abutting zone	Abutting zone
C3 Side interior setback, abutting a AG, RE, RLD, RMD zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone
C3 Side interior, abutting all other zones	0' or 5'	0' or 5'	0' or 5'	0' or 5'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C4 Rear setback	20'	20'	15'	15'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C4 Rear setback, alley	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min		
<b>Accessory Structure Setbacks (min)</b>						
C5 Front setback, behind front building line	10'	10'	5'	5'		
C6 Side street setback	15'	15'	15'	15'		
C7 Side interior/rear setback, abutting a AG, RE, RLD, RMD zone	5'	5'	5'	5'	Greater of abutting zone or 4'	Greater of abutting zone or 4'
C7 Side interior/rear setback, abutting all other zones	0' or 5'	0' or 5'	0' or 5'	0' or 5'		
C8 Rear setback, alley	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min		
<b>Coverage (max)</b>						
C9 Roofed buildings & structures	35%	40%	50%	50%	75%	90%



<b>D. Height</b>	<b>TLD</b>	<b>TMD</b>	<b>THD</b>	<b>RHD-3</b>	<b>RHD-2</b>	<b>RHD-1</b>
<b>Building Height (max)</b>						
D1 Principal building	35'	35'	35'	35'	35'	35'
D2 Accessory structure	25'	25'	25'	25'	25'	25'

### Sec. 4.3.4. Townhouse



A. Site	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Dimensions (min)</b>						
A1 Site area	20,000 sf	20,000 sf	40,000 sf	40,000 sf	40,000 sf	40,000 sf
A2 Site area per unit	4,800 sf	3,600 sf	2,900 sf	2,700 sf	1,800 sf	1,000 sf
<b>Density (max)</b>						
A3 Density (units/acre)	9 u/a	12 u/a	15 u/a	16 u/a	24 u/a	40 u/a
<b>Coverage (min)</b>						
A4 Green area (% of site)	50%	45%	40%	35%	35%	35%

See Sec. ## for green area specifications.

B. Lot	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Dimensions (min)</b>						
B1 Lot area	1,400 sf	1,200 sf	1,000 sf	1,200 sf	1,000 sf	800 sf
B2 Lot width at front property line	14'	14'	14'	14'	14'	14'

C. Placement	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Principal Building Setbacks (min)</b>						
C1 Front setback, public street	25'	25'	20'	20'	20'	20'
C1 Front setback, private street	4' or 20'	4' or 20'	4' or 20'	4' or 20'	4' or 20'	4' or 20'
C2 Side street setback	15'	15'	15'	15'	15'	15'
C3 Side interior setback, abutting a AG, RE, RLD, RMD zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone	Abutting zone
C3 Side interior setback, abutting all other zones	10'	10'	8'	8'	8'	8'
C4 Rear setback	20'	20'	20'	10'	10'	10'
C4 Rear setback, alley	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min
<b>Accessory Structure Setbacks (min)</b>						
C5 Front setback, behind front building line	10'	10'	5'	5'	5'	5'
C6 Side street setback	15'	15'	15'	15'	15'	15'
C7 Side interior/rear setback, abutting a AG, RE, RLD, RMD zone	5'	5'	5'	5'	5'	5'
C7 Side interior/rear setback, abutting all other zones	0' or 5'	0' or 5'	0' or 5'	0' or 5'	0' or 5'	0' or 5'
C8 Rear setback, alley	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min	4' or 20' min
<b>Coverage (min)</b>						
C9 Roofed building & structures	35%	35%	50%	50%	50%	50%

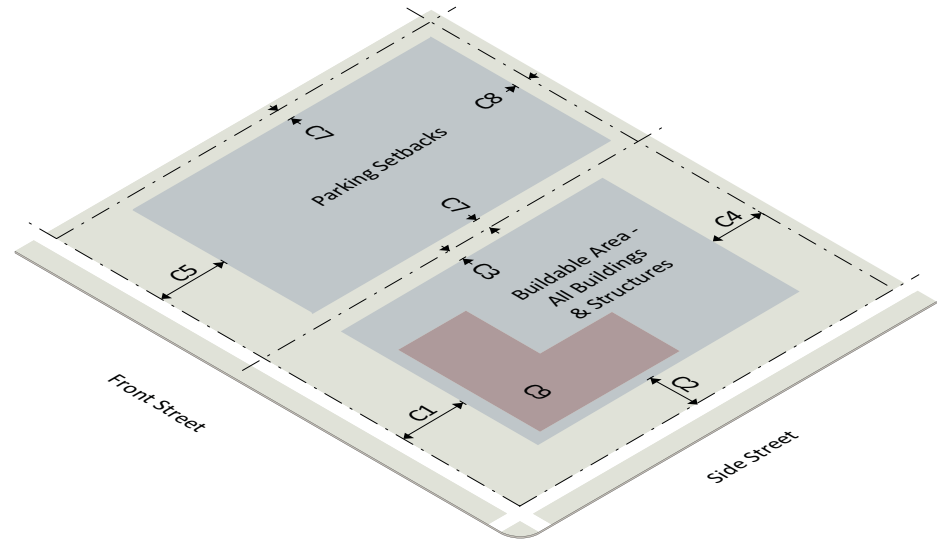
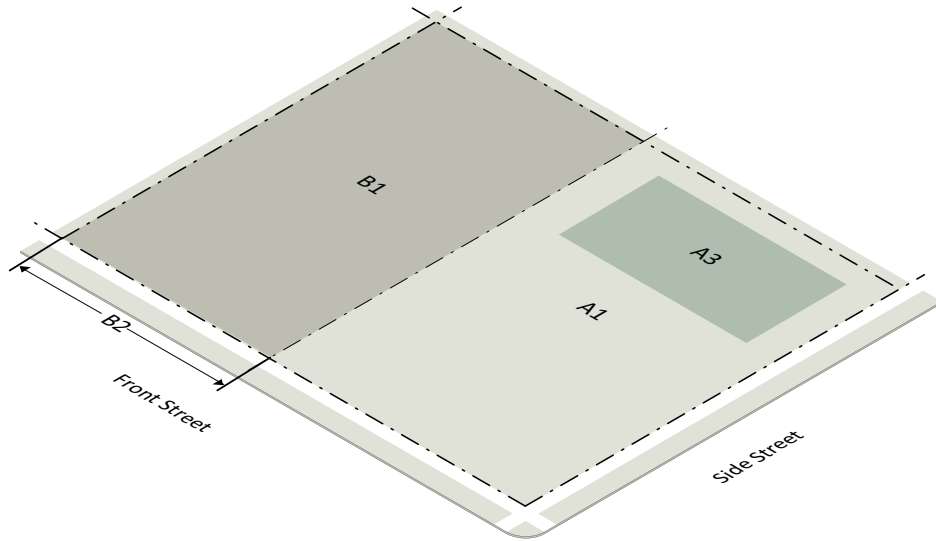




D. Height	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Building Height (max)</b>						
D1 Principal building	35'	35'	35'	40'	40'	40'
D2 Accessory structure	25'	25'	25'	25'	25'	25'

E. Form	TLD	TMD	THD	RHD-3	RHD-2	RHD-1
<b>Massing</b>						
E1 Number of units permitted in any one row (max)	8	8	8	8	8	8

Sec. 4.3.5. Apartment/Condo

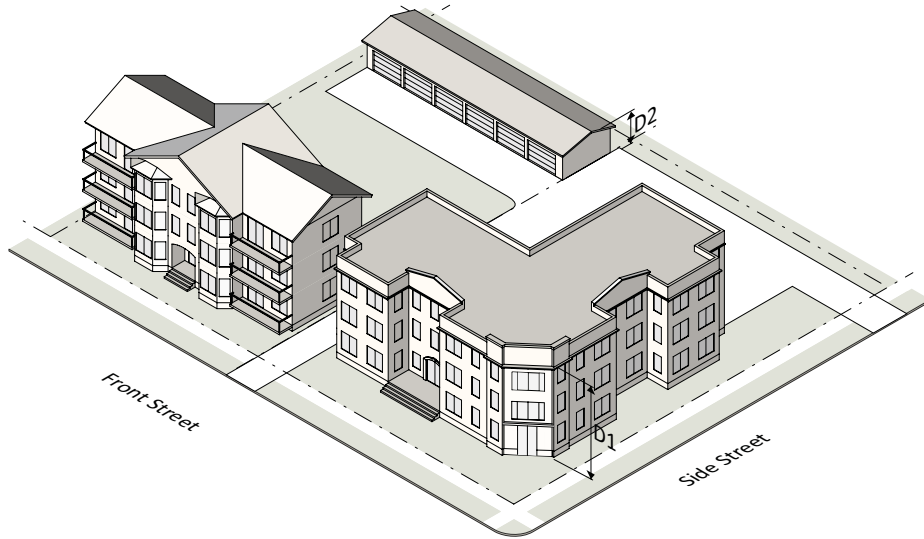


A. Site	RHD-3	RHD-2	RHD-1
<b>Site Dimensions (min)</b>			
A1 Site area per unit	3,000 sf	2,000 sf	1,000 sf
<b>Density (max)</b>			
A2 Density (units/acre)	14.5 u/a	21.7 u/a	43.5 u/a
<b>Coverage</b>			
A3 Green area (% of site)	65%	60%	50%

See Sec. ## for green area specifications.

B. Lot	RHD-3	RHD-2	RHD-1
<b>Dimensions</b>			
B1 Lot area (min)	12,000 sf	16,000 sf	20,000 sf
B2 Lot width at front property line	75'	85'	100'

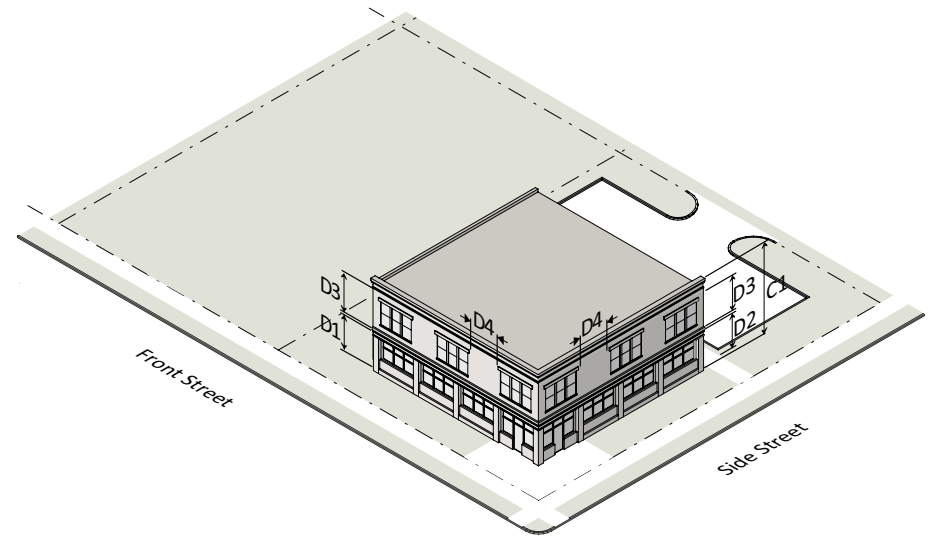
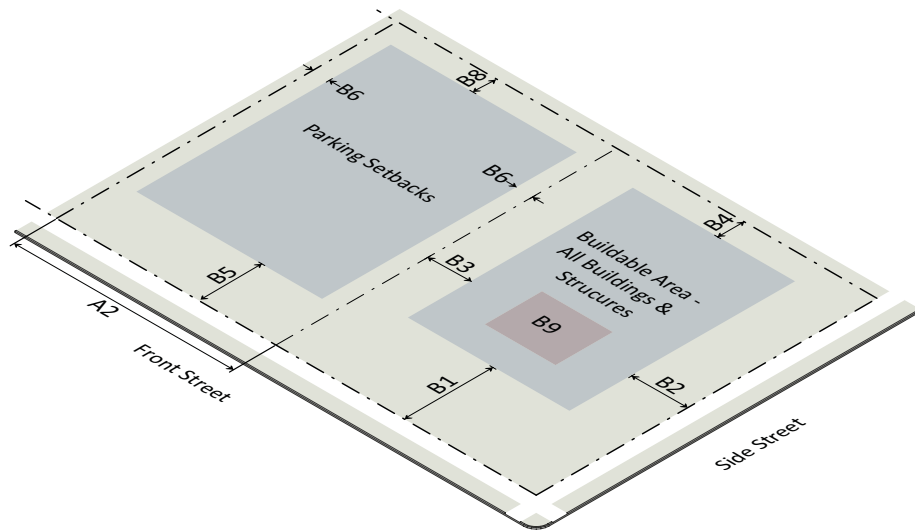
C. Placement	RHD-3	RHD-2	RHD-1
<b>Building &amp; Structure Setbacks (min)</b>			
C1 Front setback	30'	30'	30'
C2 Side street setback	30'	30'	30'
C3 Side interior setback	10'	10'	10'
C4 Rear setback	30'	30'	30'
C4 Rear setback, alley	4'	4'	4'
<b>Parking Setbacks (min)</b>			
C5 Front setback	30'	30'	30'
C6 Side street setback	10'	10'	10'
C7 Side interior setback	10'	10'	10'
C8 Rear setback	10'	10'	10'
C8 Rear setback, alley	0'	0'	0'
<b>Coverage</b>			
A9 Roofed buildings & structures (max)	18%	18%	12%



**D. Height**

	RHD-3	RHD-2	RHD-1
<b>Building Height (max)</b>			
D1 Principal building	35'	80'	100'
D2 Accessory structure	25'	25'	25'

Sec. 4.3.6. General Building



A. Lot	RE-2	RE-1	RLD-20	TLD RMD-9, -6	RHD-3, -2, -1 TMD, THD
<b>Dimensions (min)</b>					
A1 Lot area	87,120 sf	40,000 sf	20,000 sf	15,000 sf	10,000 sf
A2 Lot width at front property line	150'	125'	100'	75'	75'

**B. Setbacks**

<b>All Buildings &amp; Structures (min)</b>					
B1 Front setback	50'	50'	40'	30'	20'
B2 Side street setback	20'	20'	15'	15'	10'
B3 Side interior setback	17'	17'	12'	8'	8'
B4 Rear setback	35'	35'	30'	30'	30'
B4 Rear setback, alley	4'	4'	4'	4'	4'
<b>Parking Setbacks (min)</b>					
B5 Front setback	10'	10'	10'	10'	10'
B6 Side street setback	10'	10'	10'	10'	10'
B7 Side interior setback	10'	10'	10'	10'	10'
B8 Rear setback	10'	10'	10'	10'	10'
B8 Rear setback, alley	0'	0'	0'	0'	0'
<b>Coverage (max)</b>					
B9 Roofed buildings & structures	30%	30%	40%	50%	60%

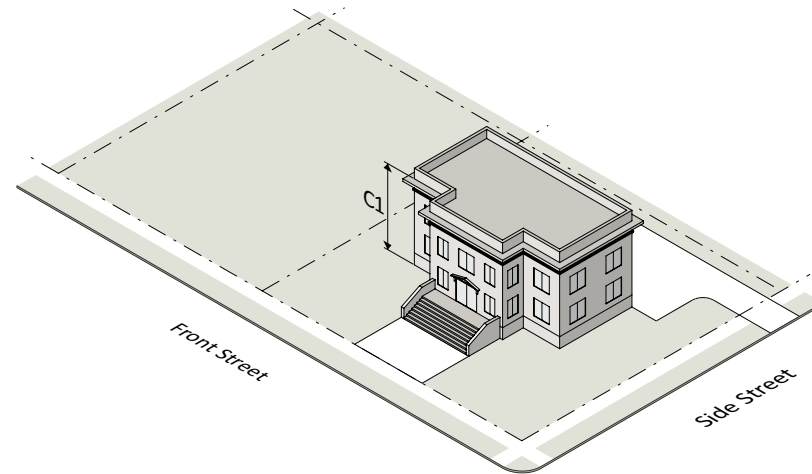
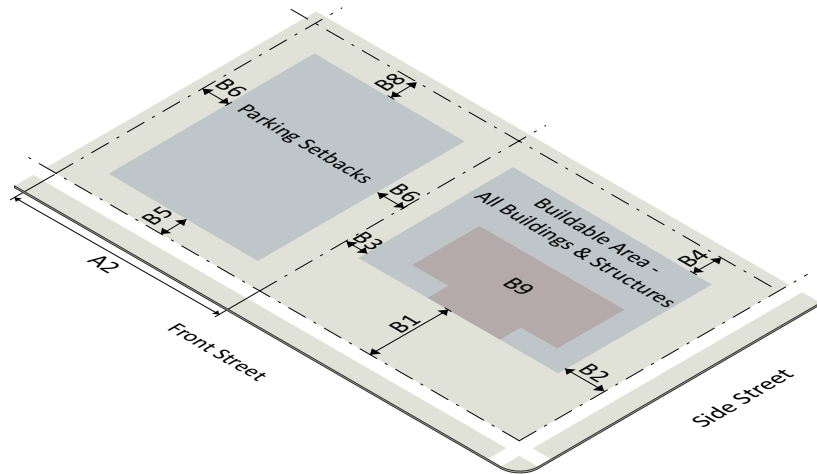
**C. Height**

<b>Building Height (max)</b>	RE-1, -2	RLD-20	TLD RMD-9, -6	RHD-3, -2, -1 TMD, THD
C1 All buildings & structures	50'	40'	40'	40'

**D. Form**

<b>Transparency</b>				
D1 Ground story, primary street (min)	40%	40%	40%	40%
D2 Ground story, side street (min)	25%	25%	25%	25%
D3 Upper story primary, side street (min)	20%	20%	20%	20%
D4 Blank wall primary, side street (max)	35'	35'	35'	35'

### Sec. 4.3.7. Community Building



A. Lot	RE-2	RE-1	RLD-20	TLD RMD-9, -6	RHD-3, -2, -1 TMD, THD
<b>Dimensions (min)</b>					
A1 Lot area	87,120 sf	40,000 sf	20,000 sf	15,000 sf	10,000 sf
A2 Lot width at front property line	150'	125'	100'	75'	75'

#### B. Setbacks

All Buildings & Structures (min)					
B1 Front setback	50'	50'	40'	30'	20'
B2 Side street setback	20'	20'	15'	15'	10'
B3 Side interior setback	17'	17'	12'	8'	8'
B4 Rear setback	35'	35'	30'	30'	30'
B4 Rear setback, alley	4'	4'	4'	4'	4'
<b>Parking Setbacks (min)</b>					
B5 Front setback	10'	10'	10'	10'	10'
B6 Side street setback	10'	10'	10'	10'	10'
B7 Side interior setback	10'	10'	10'	10'	10'
B8 Rear setback	10'	10'	10'	10'	10'
B8 Rear setback, alley	0'	0'	0'	0'	0'
<b>Coverage (max)</b>					
B9 Roofed buildings & structures	30%	30%	40%	50%	60%

C. Height	RE-1, -2	RLD-20	TLD RMD-9, -6	RHD-3, -2, -1 TMD, THD
<b>Building Height (max)</b>				
C1 All buildings & structures	50'	40'	40'	40'

## Div. 4.4. Commercial/Residential Zones

### Sec. 4.4.1. Density and Height Allocation

#### A. Density and Height Limits

- Density is calculated as an allowed floor area ratio (FAR). Each unique sequence of maximum total FAR, maximum nonresidential FAR (C), maximum residential FAR (R), and height (H) is established as a zone subject to the following limits:

Zone	Total FAR (max)	C FAR (max)	R FAR (max)	Height (max)
CR Neighborhood (CRN)	0.25 to 1.5	0.00 to 1.5	0.00 to 1.5	25' to 65'
CR Town (CRT)	0.5 to 4.0	0.25 to 3.5	0.25 to 3.5	35' to 150'
CR (CR)	0.5 to 8.0	0.25 to 7.5	0.25 to 7.5	35' to 300'

- Zones are only established at densities in increments of 0.25 FAR and heights in increments of five feet up to the maximums indicated in the table above.

#### B. FAR Averaging

Permitted FAR may be averaged over two or more directly abutting or confronting properties in one or more mixed use zone, provided that:

- The properties are subject to the same site plan or sketch plan; however, if a sketch plan is required, density averaging must be shown on the sketch plan;
- The resulting properties are created by the same preliminary subdivision plan or satisfy a phasing plan established by an approved sketch plan;
- The maximum total, nonresidential, and residential FAR limits apply to the entire development, not to individual properties;
- No building exceeds the maximum height set by the zone;
- Uses are subject to the provisions of the zone category;
- The total allowed maximum density on a resulting property that is adjacent to or confronting a property in an AC, RR, RC, RNC, RE, RLD, RMD, TLD, TMD, or THD zone that is not improved with a commercial, industrial, or utility use does not exceed that allowed by the property's zone; and
- Public benefits must be provided under the phasing element of an approved sketch plan.

### Sec. 4.4.2. Methods of Development

The CRN zone allows development only under the standard method. The CRT and CR zones allow development under the standard method and may allow development under the optional method, subject to approval of a sketch plan.

#### A. Standard Method

Standard method development is allowed under the following limitations and requirements.

- In the CRN zone, the maximum total, nonresidential, and residential FARs and maximum height for any property is set by the zone shown on the zoning map.
- In the CRT and CR zones, the maximum standard method height for any property is the height set by the zone shown on the zoning map; the maximum total standard method FAR for any property is the density set by the zone shown on the zoning map or the limit indicated in the table below, whichever is less:

Zone	Total Density (max)
CR Town (CRT)	The greater of 1.0 FAR or 10,000 sf of gross floor area
CR (CR)	The greater of 0.5 FAR or 10,000 sf of gross floor area

- A layout plan under **Sec. ##** or site plan under **Sec. ##** may be required.

#### B. Optional Method

Optional method development is allowed under **Div. 6.3**.

### Sec. 4.4.3. Development Standards

Development in all CRN, CRT, and CR zones must comply with the following requirements.

#### A. Master Plan and Design Guidelines

- Development that requires a site plan must be substantially consistent with the applicable master or sector plan.
- Development that requires a site plan must address any design guidelines approved by the Planning Board that implement the applicable master or sector plan.

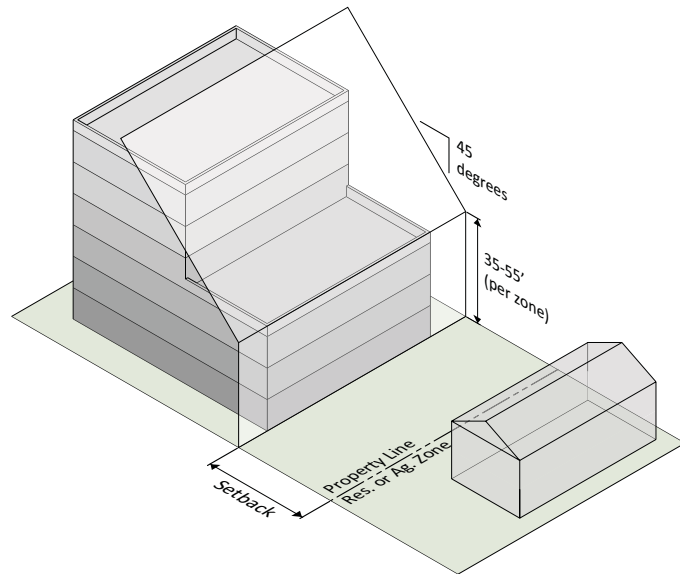
## B. Building Types

Dimensional standards for allowed building types are provided under [Sec. 4.4.4.](#) to [Sec. 4.4.10.](#) Building types are allowed by zone under [Sec. 4.1.3.](#)

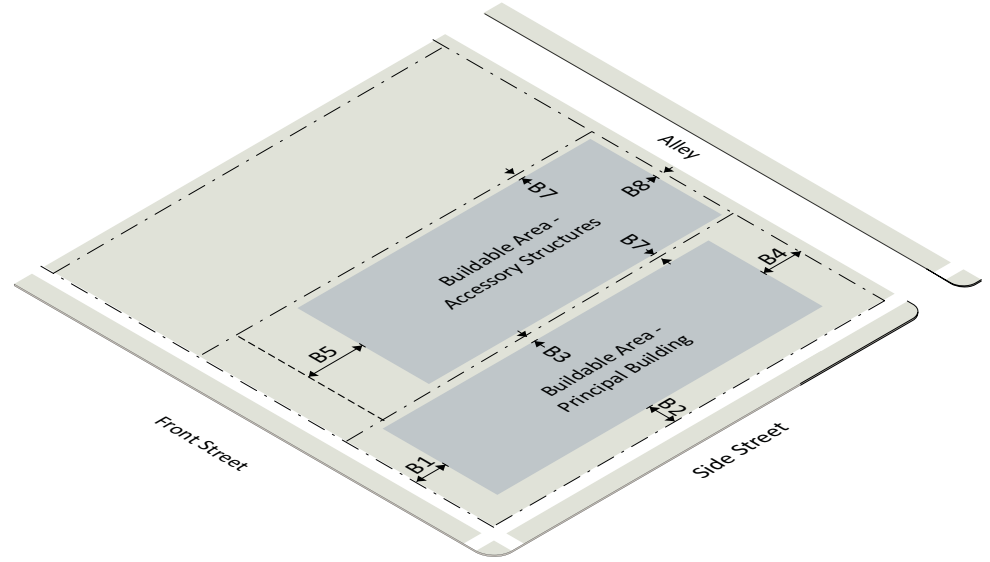
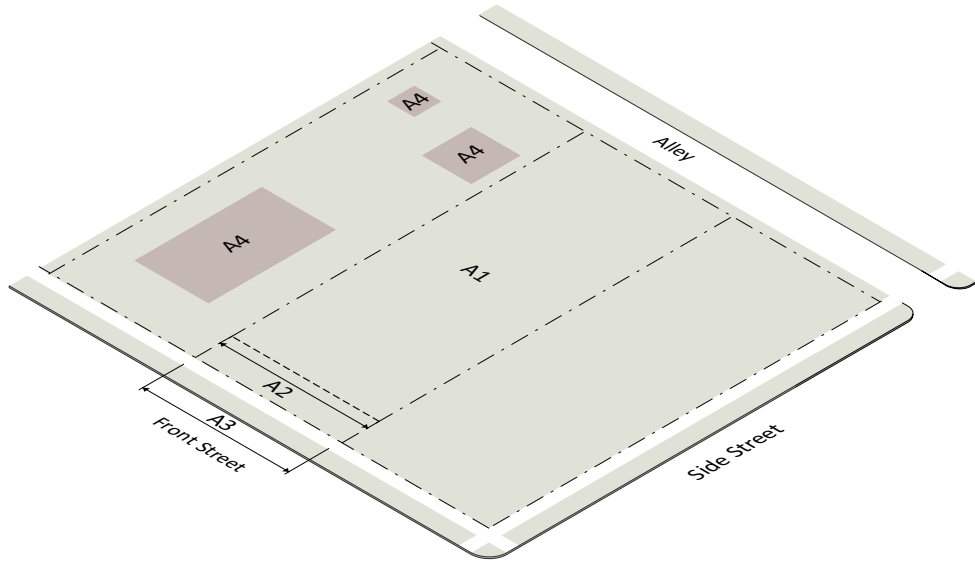
## C. Neighborhood Compatibility

Where a property abuts an AC, RR, RC, RNC, RE, RLD, or RMD zoned property that is not improved with a commercial, industrial, or utility use, any building must:

1. Have a minimum setback of 25 feet or the setback required by the adjacent property; and
2. Must not project beyond a 45 degree angular plan projecting over the subject property measured from a height of 55 feet in the CR zones, 45 feet in the CRT zones, or 35 feet in the CRN zones at the setback line determined above, with the exception of those features exempt from height and setback restrictions under [Sec. 4.1.14.](#)



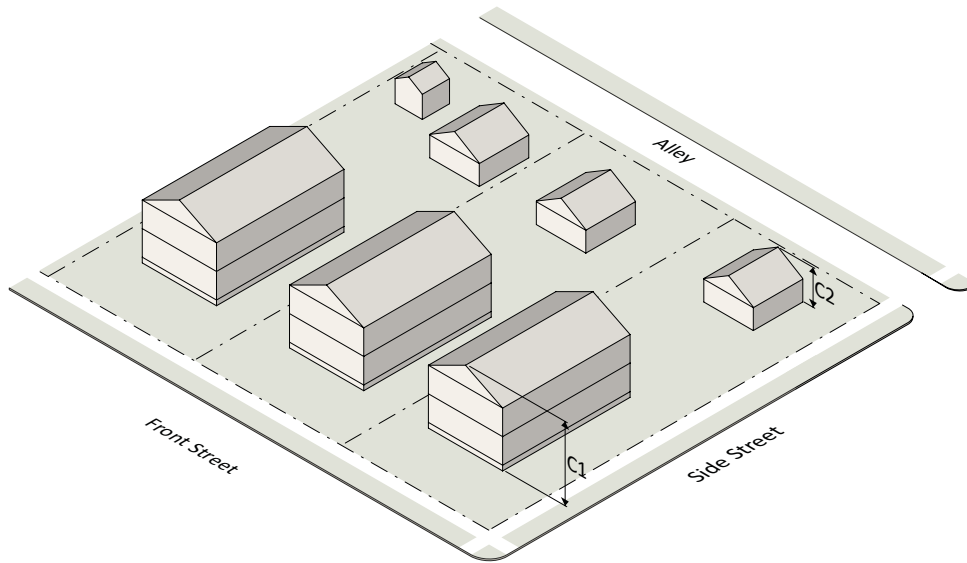
Sec. 4.4.4. Detached House



A. Lot	CRN, CRT, CR
<b>Dimensions (min)</b>	
A1 Lot area	1,000 sf
A2 Lot width at front setback line	25'
A3 Lot width at front property line	25'
<b>Coverage (max)</b>	
A4 Roofed buildings & structures	90%

B. Setbacks	CRN, CRT, CR
<b>Principal Building Setbacks (min)</b>	
B1 Front street setback	5'
B2 Side street setback	5'
B3 Side interior setback	5'
B4 Rear setback	15'
B4 Rear setback, alley	4' or 20' min
<b>Accessory Structure Setbacks (min)</b>	
B5 Front street setback, behind front building line	5'
B6 Side street setback	5'
B7 Side interior setback	5'
B8 Rear setback	5'
B8 Rear setback, alley	4' or 20' min

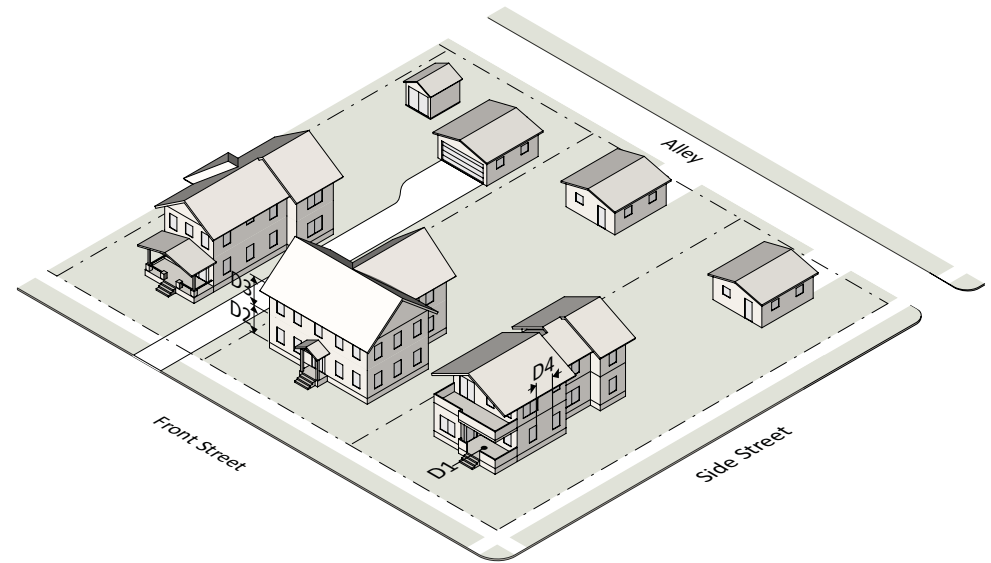




**C. Height**

CRN, CRT, CR

Building Height (max)	
C1 Principal building	35'
C2 Accessory structure	25'



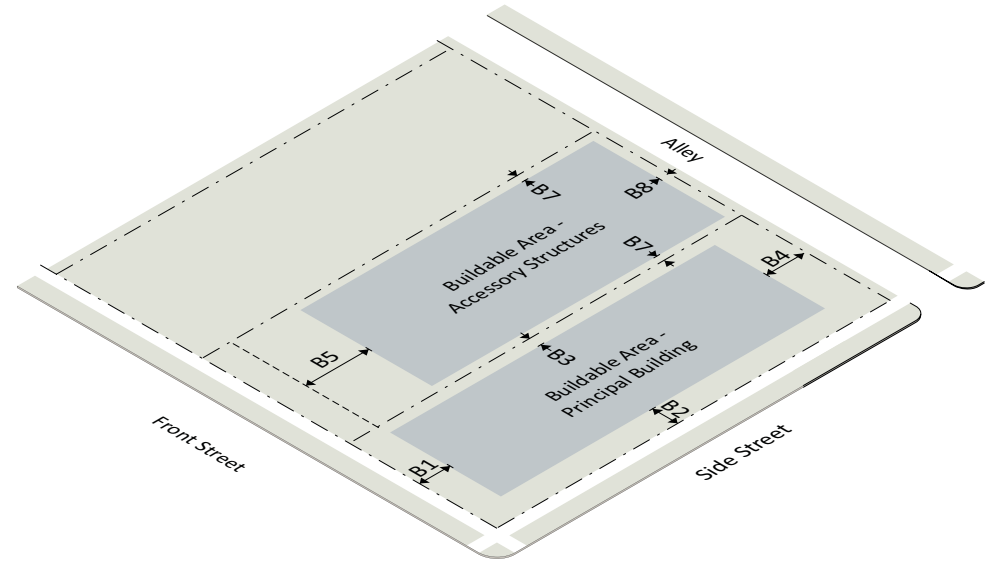
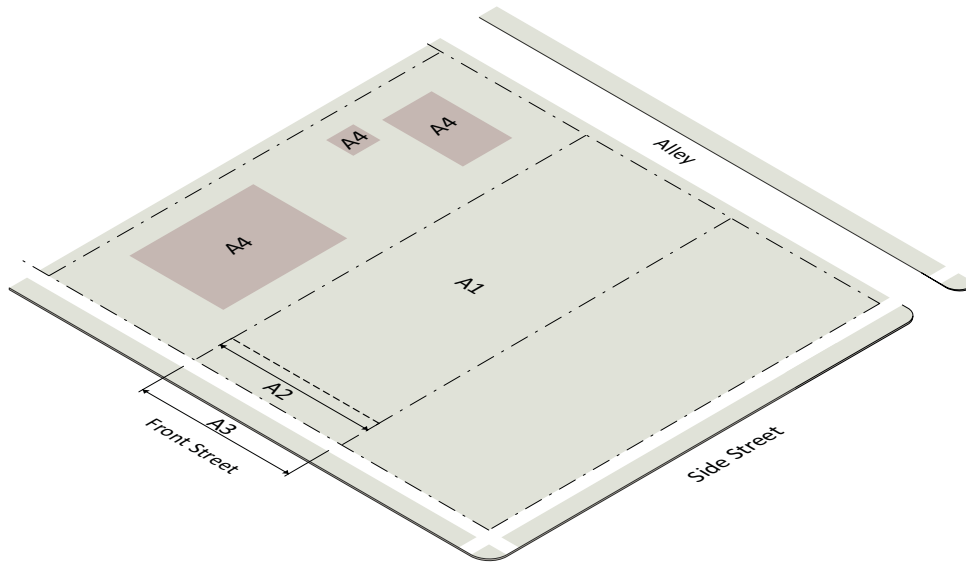
**D. Form**

CRN, CRT, CR

Building Orientation	
D1 Street or common open space facing entrance	Required
Transparency: Primary or Side Street	
D2 Ground story (min)	20%
D3 Upper story (min)	20%
D4 Blank wall (max)	35'
D5 Allowed Building Elements	
Gallery, awning	no
Porch, stoop	yes
Balcony	yes

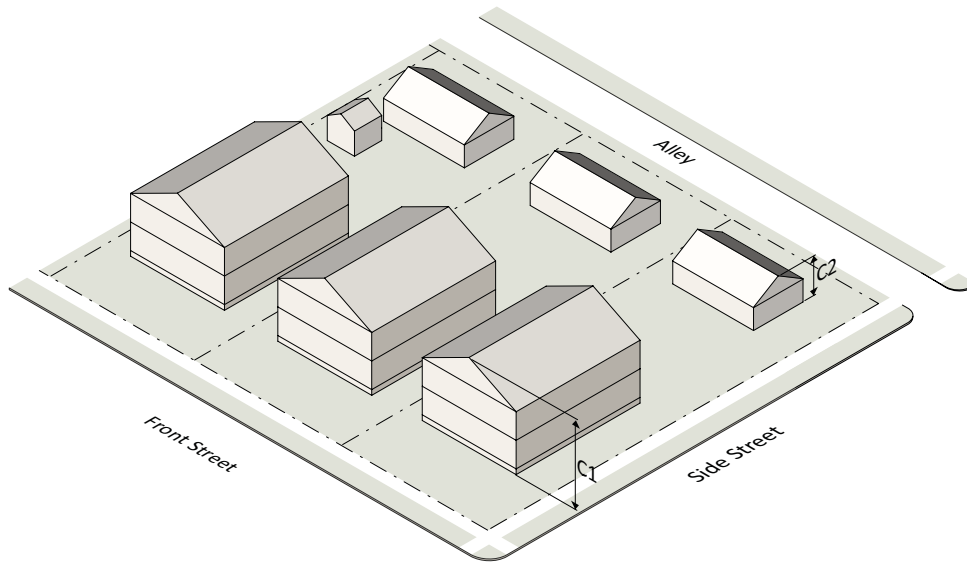
See [Sec. 4.1.4.G](#) for specific building element requirements.

Sec. 4.4.5. Duplex

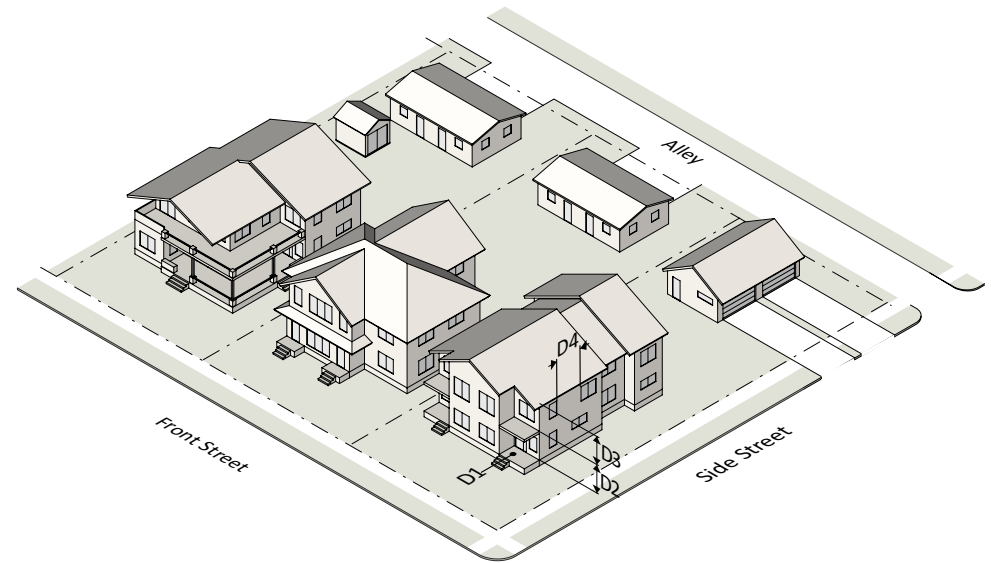


A. Lot	CRN, CRT, CR
<b>Dimensions (min)</b>	
A1 Lot area	1,600 sf
A2 Lot width at front setback line	25'
A3 Lot width at front property line	25'
<b>Coverage (max)</b>	
A4 Roofed buildings & structures	90%

B. Setbacks	CRN, CRT, CR
<b>Principal Building Setbacks (min)</b>	
B1 Front street setback	5'
B2 Side street setback	5'
B3 Side interior setback	5'
B4 Rear setback	15'
B4 Rear setback, alley	4' or 20' min
<b>Accessory Structure Setbacks (min)</b>	
B5 Front street setback, behind front building line	5'
B6 Side street setback	5'
B7 Side interior setback	5'
B8 Rear setback	5'
B8 Rear setback, alley	4' or 20' min



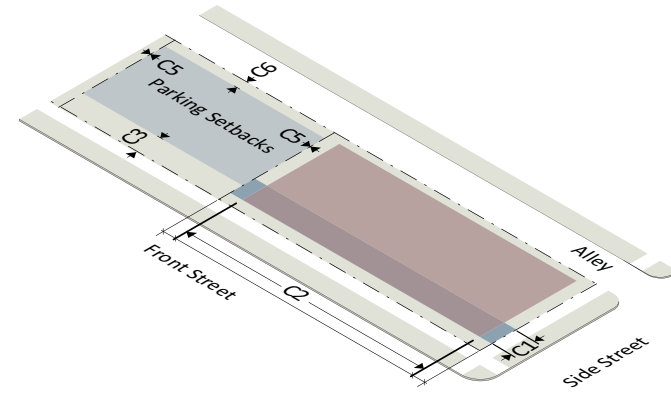
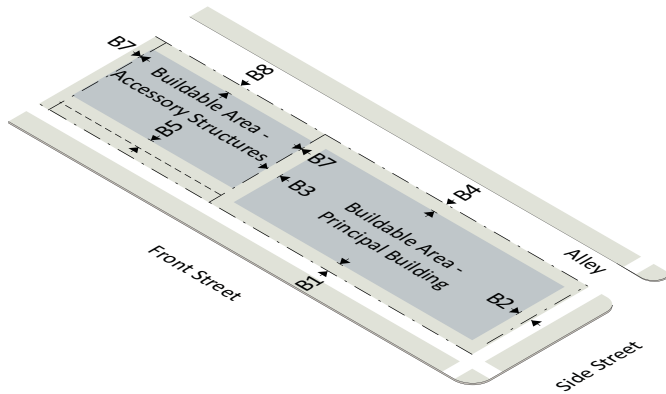
C. Height	CRN, CRT, CR
<b>Building Height (max)</b>	
C1 Principal building	35'
C2 Accessory structure	25'



D. Form	CRN, CRT, CR
<b>Building Orientation</b>	
D1 Street or common open space facing entrance	Required
<b>Transparency: Primary or Side Street</b>	
D2 Ground story (min)	20%
D3 Upper story (min)	20%
D4 Blank wall (max)	35'
<b>D5 Allowed Building Elements</b>	
Gallery, awning	no
Porch, stoop	yes
Balcony	yes

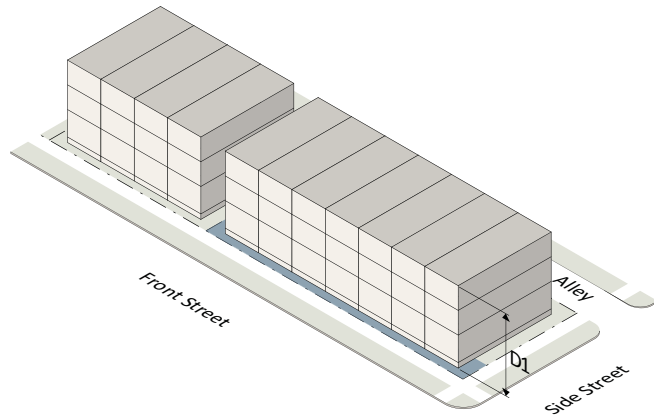
See [Sec. 4.1.4.G](#) for specific building element requirements.

### Sec. 4.4.6. Townhouse

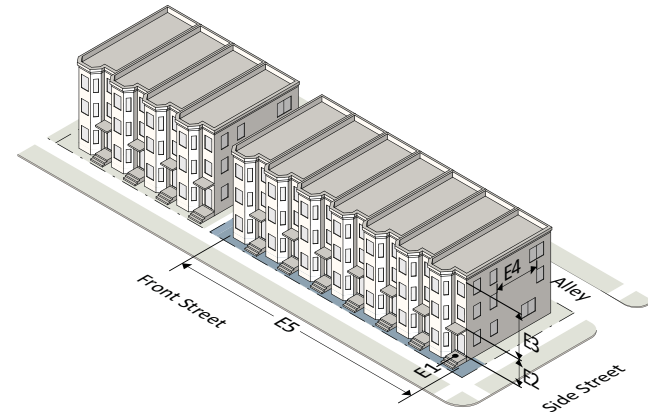


A. Lot	CRN, CRT, CR
<b>Dimensions (min)</b>	
A1 Lot area	900 sf
<b>Coverage (max)</b>	
A2 Roofed buildings & structures	90%
<b>B. Setbacks</b>	
<b>Principal Building Setbacks (min)</b>	
B1 Front street setback	5'
B2 Side street setback	5'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.4.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback	20'
B4 Rear setback, alley	4' or 20' min
<b>Accessory Structure Setbacks (min)</b>	
B5 Front street setback, behind front building line	5'
B6 Side street setback	5'
B7 Side interior setback, abutting Agricultural, Rural or Residential zone	5'
B7 Side interior setback, abutting all other zones	0' or 5'
B8 Rear setback	5'
B8 Rear setback, alley	4' or 20' min

C. Placement	CRN, CRT, CR
<b>Build-to Zone (BTZ)</b>	
C1 Front street build-to (min/max)	5'/15'
C2 Building in BTZ (min % of lot width)	70%
<b>Parking Setbacks (min)</b>	
C3 Front street setback	10'
C4 Side street setback	10'
C5 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C5 Side interior setback, abutting all other zones	0' or 5'
C6 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C6 Rear setback, abutting all other zones	0' or 5'
C6 Rear setback, alley	4' or 20' min



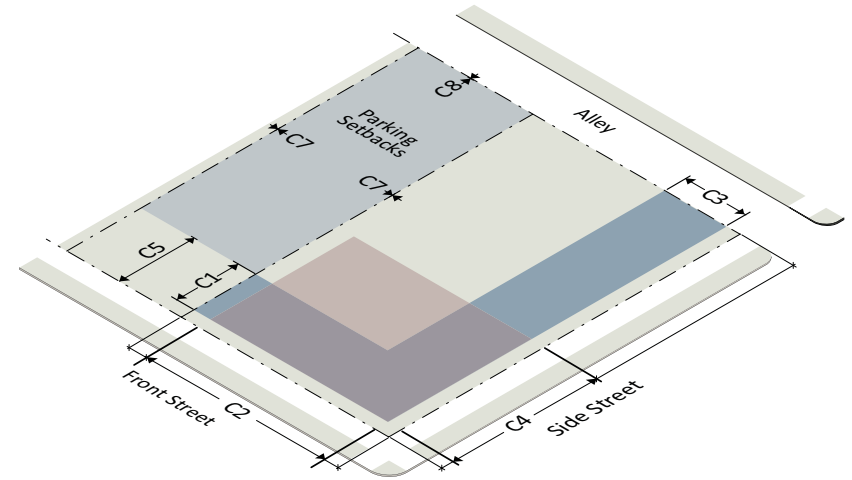
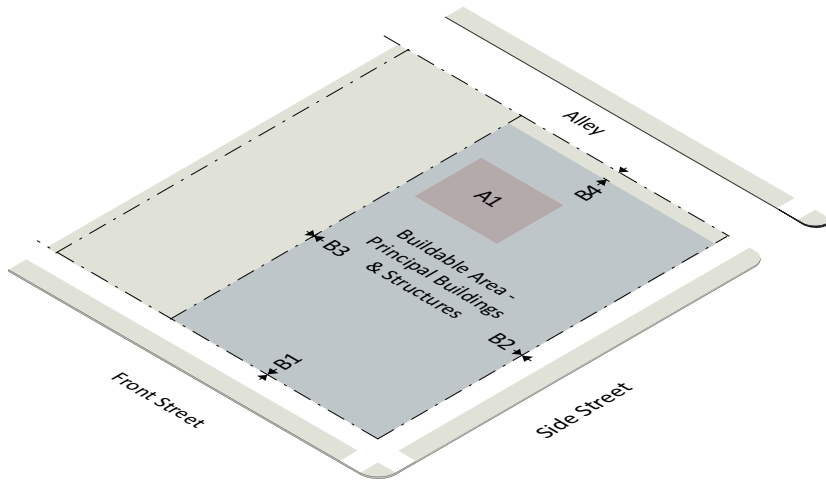
D. Height	CRN, CRT, CR
<b>Building Height (max)</b>	
D1 Principal building	40' unless zone height limit is less
D2 Accessory structure	25'



E. Form	CRN, CRT, CR
<b>Building Orientation</b>	
E1 Street-facing entrance	Required
<b>Transparency: Primary or Side Street</b>	
E2 Ground story (min)	20%
E3 Upper story (min)	20%
E4 Blank wall (max)	35'
<b>Massing</b>	
E5 Number of units permitted in any one row	8
<b>E6 Allowed Building Elements</b>	
Gallery, awning	no
Porch, stoop	yes
Balcony	yes

See [Sec. 4.1.4.G](#) for specific building element requirements.

Sec. 4.4.7. Apartment/Condo



**A. Lot** CRN, CRT, CR

A1 Public Use Space	
Lot area ≤ 10,000 sf (% of site required to be dedicated)	0%
Lot area > 10,000 sf (% of site required to be dedicated)	10%

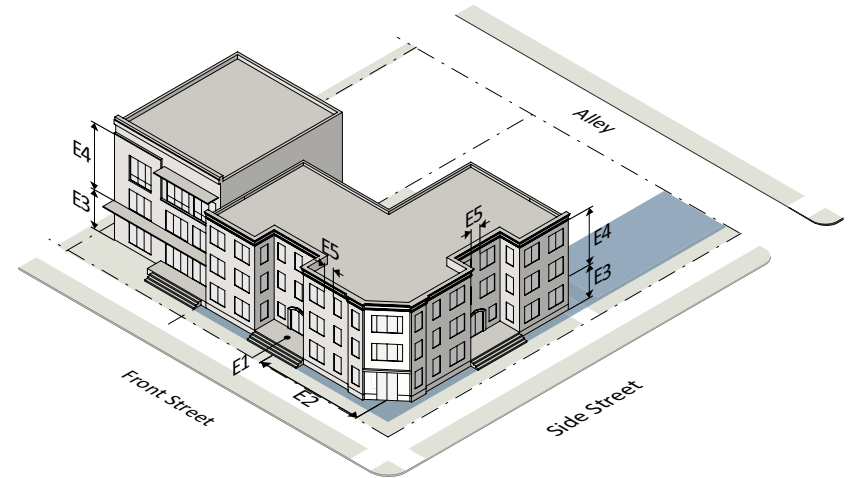
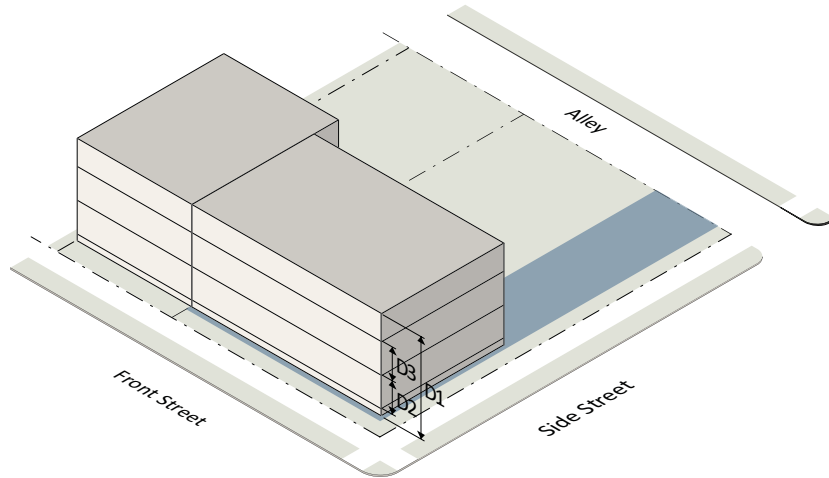
See [Sec. ##](#) for public use space specifications.

**B. Setbacks**

Building & Structure Setbacks (min)	
B1 Front street setback	0'
B2 Side street setback	0'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See <a href="#">Sec. 4.4.3C</a>
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See <a href="#">Sec. 4.4.3C</a>
B4 Rear setback, abutting all other zones	0' or 5'
B4 Rear setback, alley	4'

**C. Placement** CRN, CRT, CR

Build-to Zone (BTZ)	
C1 Front street (min/max)	0'/30'
C2 Building in front street BTZ (min % of lot width)	70%
C3 Side street (min/max)	0'/30'
C4 Building in side street BTZ (min % of lot width)	35%
Parking Setbacks (min)	
C5 Front street setback	30'
C6 Side street setback	10'
C7 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C7 Side interior setback, abutting all other zones	0' or 5'
C8 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C8 Rear setback, abutting all other zones	0' or 5'
C8 Rear setback, alley	0' or 5'

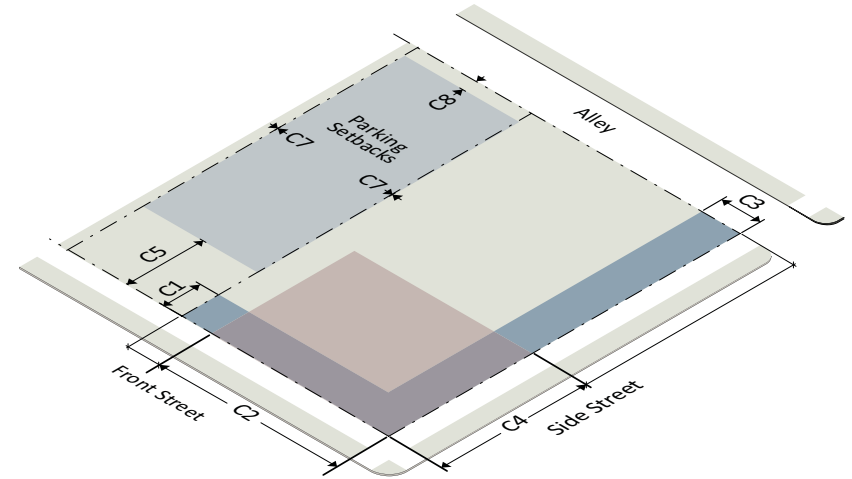
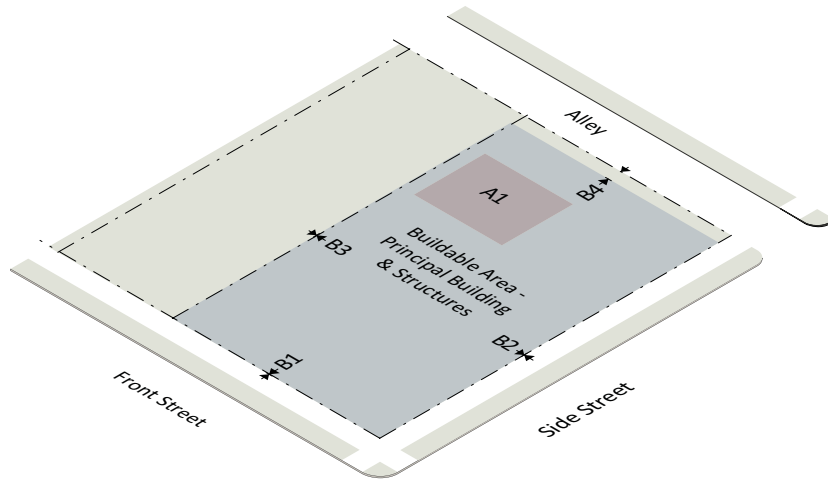


D. Height	CRN, CRT, CR
<b>Building Height (max)</b>	
D1 All buildings & structures	Specific to mapped zone: 25' to 300'
<b>Story Heights (min)</b>	
D2 Ground story, floor to ceiling	10'
D3 Upper story, floor to ceiling	9'

E. Form	CRN, CRT, CR
<b>Building Orientation</b>	
E1 Street-facing entrance	Required
E2 Entrance spacing (max)	100'
<b>Transparency: Primary, Side Street, Public Open Space</b>	
E3 Ground story (min)	20%
E4 Upper story (min)	20%
E5 Blank wall (max)	35'
<b>E6 Allowed Building Element</b>	
Gallery, awning	yes
Porch, stoop	yes
Balcony	yes

See [Sec. 4.1.4.G](#) for specific building element requirements.

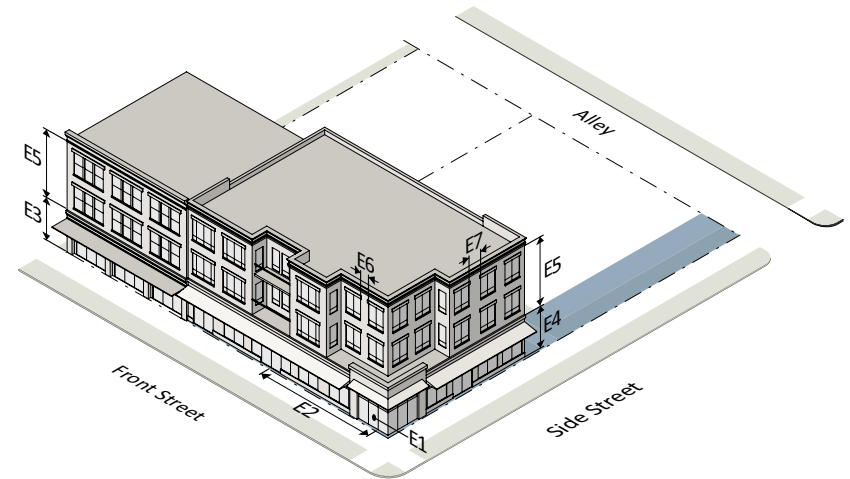
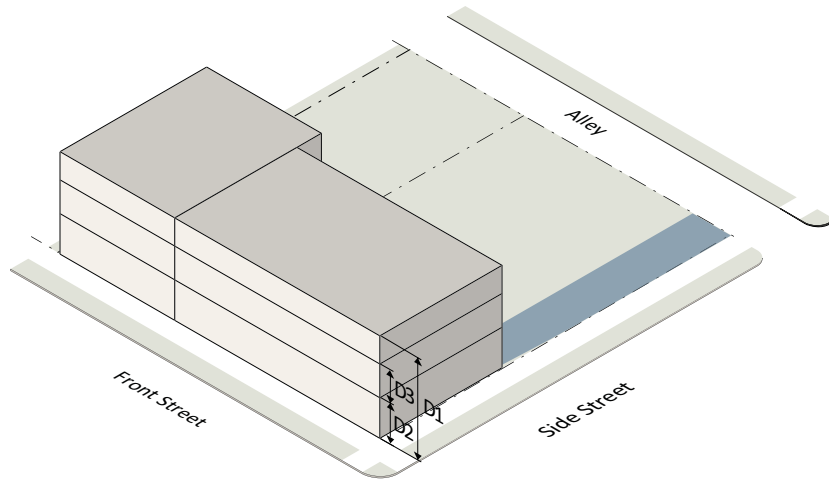
### Sec. 4.4.8. Mixed Use Building



A. Lot	CRN, CRT, CR
<b>A1 Public Use Space</b>	
Lot area ≤ 10,000 sf (% of site required to be dedicated)	0%
Lot area > 10,000 sf (% of site required to be dedicated)	10%
See Sec. ## for public use space specifications.	
<b>B. Setbacks</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front street setback	0'
B2 Side street setback	0'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.4.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.4.3C
B4 Rear setback, abutting all other zones	0' or 5'
B4 Rear setback, alley	4'

C. Placement	CRN, CRT, CR
<b>Build-to Zone (BTZ)</b>	
C1 Front street (min/max)	0'/15'
C2 Building in front street BTZ (min % of lot width)	70%
C3 Side street (min/max)	0'/15'
C4 Building in side street BTZ (min % of lot width)	35%
<b>Parking Setbacks (min)</b>	
C5 Front street setback	30'
C6 Side street setback	10'
C7 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C7 Side interior setback, abutting all other zones	0' or 5'
C8 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C8 Rear setback, abutting all other zones	0' or 5'
C8 Rear setback, alley	0' or 5'





**D. Height**

CRN, CRT, CR

Building Height (max)	
D1 All buildings & structures	Specific to mapped zone: 25' to 300'
Story Heights (min)	
D2 Ground story, floor to ceiling	13'
D3 Upper story, floor to ceiling	9'

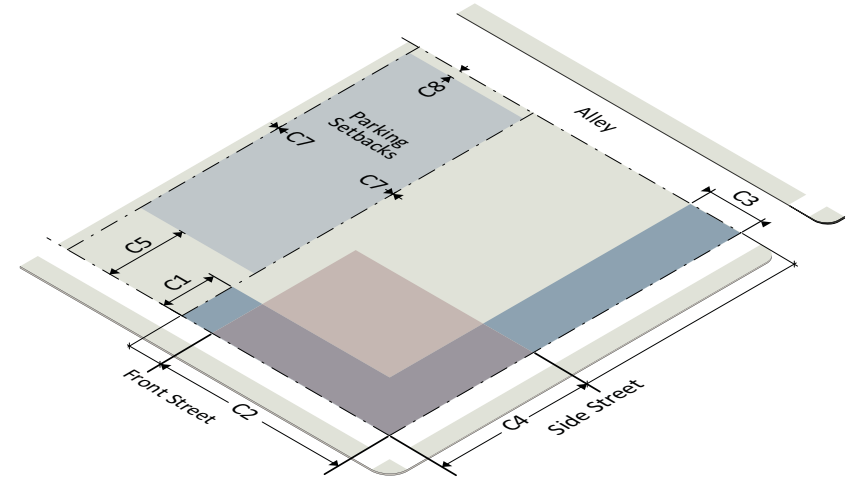
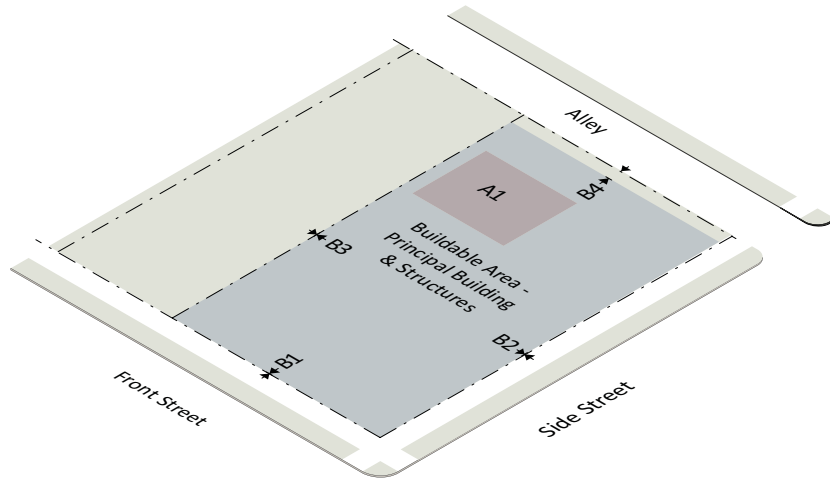
**E. Form**

CRN, CRT, CR

Building Orientation	
E1 Street-facing entrance	Required
E2 Entrance spacing (max)	75'
Transparency	
E3 Ground story front street (min)	60%
E4 Ground story side street, public open space (min)	30%
E5 Upper story front, side street, public open space (min)	20%
E6 Blank wall front street (max)	25'
E7 Blank wall side street, public open space (max)	35'
E8 Allowed Building Elements	
Gallery, awning	yes
Porch, stoop	no
Balcony	yes

See [Sec. 4.1.4.G](#) for specific building element requirements.

### Sec. 4.4.9. General Building



#### A. Lot CRN, CRT, CR

A1 Public Use Space	
Lot area ≤ 10,000 sf (% of site required to be dedicated)	0%
Lot area > 10,000 sf (% of site required to be dedicated)	10%

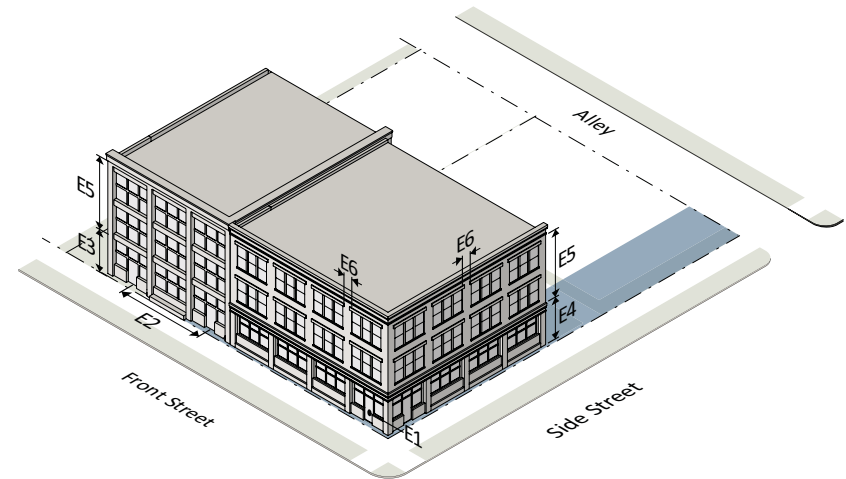
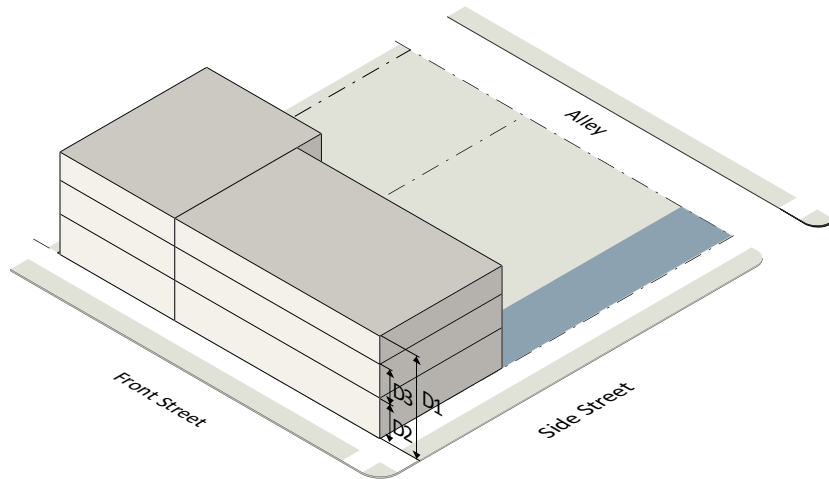
See Sec. ## for public use space specifications.

#### B. Setbacks

Building & Structure Setbacks (min)	
B1 Front street setback	0'
B2 Side street setback	0'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.4.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.4.3C
B4 Rear setback, abutting all other zones	0' or 5'
B4 Rear setback, alley	4'

#### C. Placement CRN, CRT, CR

Build-to Zone (BTZ)	
C1 Front street (min/max)	0'/20'
C2 Building in front street BTZ (min % of lot width)	70%
C3 Side street (min/max)	0'/20'
C4 Building in side street BTZ (min % of lot width)	35%
Parking Setbacks (min)	
C5 Front street setback	30'
C6 Side street setback	10'
C7 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C7 Side interior setback, abutting all other zones	0' or 5'
C8 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C8 Rear setback, abutting all other zones	0' or 5'
C8 Rear setback, alley	0' or 5'



**D. Height**

CRN, CRT, CR

Building Height (max)	
D1 All buildings & structures	Specific to mapped zone: 25' to 300'
Story Heights (min)	
D2 Ground story, floor to ceiling	11'
D3 Upper story, floor to ceiling	9'

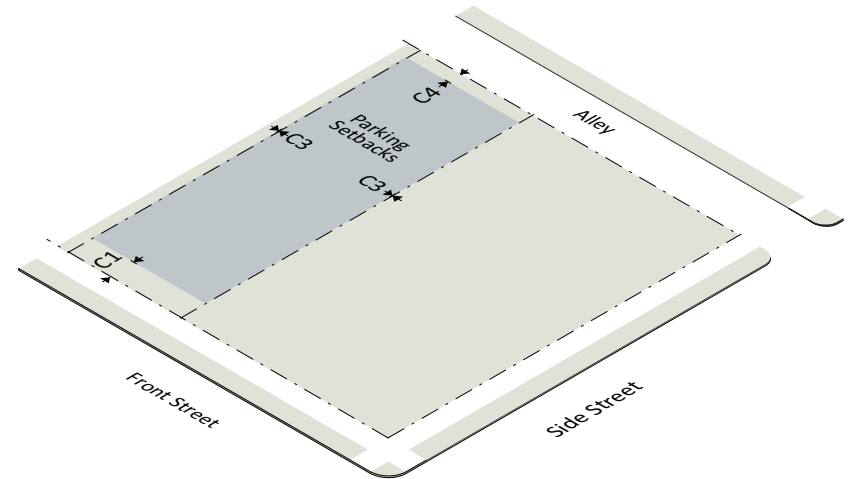
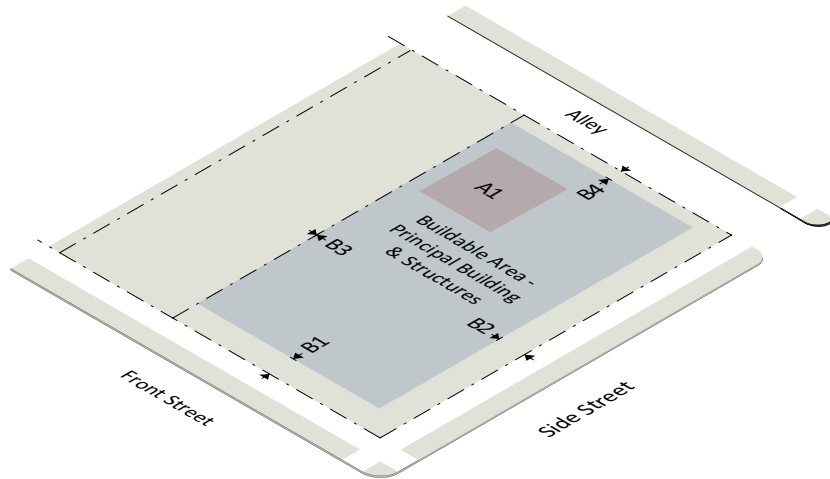
**E. Form**

CRN, CRT, CR

Building Orientation	
E1 Street -facing entrance	Required
E2 Entrance spacing (max)	100'
Transparency	
E3 Ground story front street (min)	40%
E4 Ground story side street, public open space (min)	25%
E5 Upper story front, side street, public open space (min)	20%
E6 Blank wall front, side street, public open space (max)	35'
E7 Allowed Building Elements	
Gallery, awning	yes
Porch, stoop	no
Balcony	yes

See [Sec. 4.1.4.G](#) for specific building element requirements.

Sec. 4.4.10. Community Building



**A. Lot** CRN, CRT, CR

A1 Public Use Space	
Lot area ≤ 10,000 sf (% of site required to be dedicated)	0%
Lot area > 10,000 sf (% of site required to be dedicated)	10%

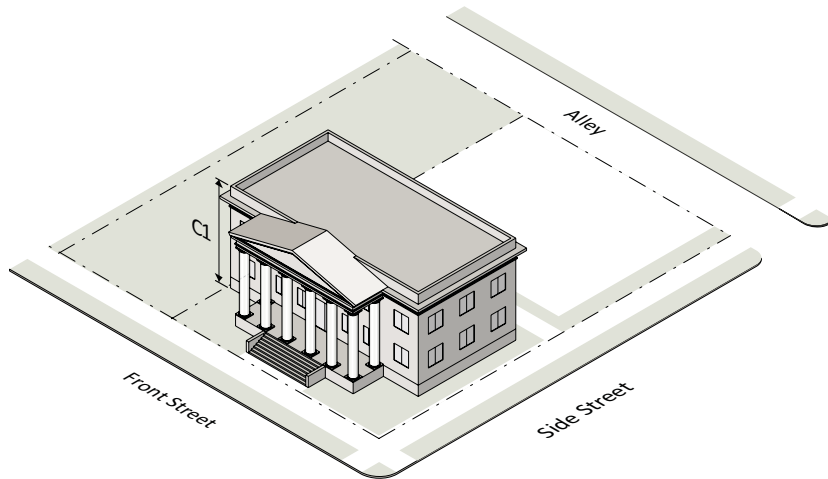
See Sec. ## for public use space specifications.

**B. Setbacks**

Building & Structure Setbacks (min)	
B1 Front street setback	10'
B2 Side street setback	10'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.4.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.4.3C
B4 Rear setback, abutting all other zones	0' or 5'
B4 Rear setback, alley	4'

**C. Placement**

CRN, CRT, CR	
Parking Setbacks (min)	
C1 Front street setback	10'
C2 Side street setback	10'
C3 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C3 Side interior setback, abutting all other zones	0' or 5'
C4 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C4 Rear setback, abutting all other zones	0' or 5'
C4 Rear setback, alley	0' or 5'



**D. Height**

CRN, CRT, CR

**Building Height (max)**

D1 All buildings & structures

Specific to  
mapped zone:  
25' to 300'

**E. Form**

**E1 Allowed Building Elements**

Gallery, awning	yes
Porch, stoop	yes
Balcony	yes

See [Sec. 4.1.4.G](#) for specific building element requirements.

## Div. 4.5. Employment Zones

### Sec. 4.5.1. Density and Height Allocation

#### A. Density and Height Limits

- Density is calculated as an allowed floor area ratio (FAR). Each unique sequence of maximum total FAR and height (H) is established as a zone subject to the following limits:

Zone	Total FAR (max)	Height (max)
Employment General (EG)	0.5 to 2.5	25' to 85'
Employment Life Science (ELS)	0.5 to 2.5	35' to 200'
Employment Office (EOF)	0.5 to 4.0	35' to 200'

- Zones are only established at densities in increments of 0.25 FAR and heights in increments of five feet up to the maximums indicated in the table above.

#### B. FAR Averaging

Permitted FAR may be averaged over two or more directly abutting or confronting properties in one or more mixed use zone, provided that:

- The properties are subject to the same site plan or sketch plan; however, if a sketch plan is required, density averaging must be shown on the sketch plan
- The resulting properties are created by the same preliminary subdivision plan or satisfy a phasing plan established by an approved sketch plan;
- The maximum total, nonresidential, and residential FAR limits apply to the entire development, not to individual properties;
- No building exceeds the maximum height set by the zone;
- Uses are subject to the provisions of the zone category;
- The total allowed maximum density on a resulting property that is adjacent to or confronting a property in an AC, RR, RC, RNC, RE, RLD, RMD, TLD, TMD, or THD zone that is not improved with a commercial, industrial, or utility use does not exceed that allowed by the property's zone; and
- Public benefits must be provided under the phasing element of an approved sketch plan.

### Sec. 4.5.2. Methods of Development

The EG Zone allows development only under the standard method. The ELS and EOF Zones allow development under the standard method and may allow development under the optional method, subject to approval of a sketch plan.

#### A. Standard Method

Standard method development is allowed under the following limitations and requirements.

- In the EG Zone, the maximum total, nonresidential, and residential FARs and maximum height for any property is set by the zone shown on the zoning map.
- In the ELS and EOF Zones, the maximum standard method height for any property is the height set by the zone shown on the zoning map; the maximum total standard method FAR for any property is the density set by the zone shown on the zoning map or the limit indicated in the table below, whichever is less:

Zone	Total Density (max)
Employment Life Science (ELS)	The greater of 0.5 FAR or 10,000 sf of gross floor area
Employment Office (EOF)	The greater of 1.0 FAR or 10,000 sf of gross floor area

- A layout plan under **Sec. ##** or a site plan under **Sec. ##** may be required.

#### B. Optional Method

Optional method development is allowed under **Div 6.4.**

### Sec. 4.5.3. Development Standards

Development in all EG, ELS, and EOF zones must comply with the following requirements.

#### A. Master Plan and Design Guidelines

- Development that requires a site plan must be substantially consistent with the applicable master or sector plan.
- Development that requires a site plan must address any design guidelines approved by the Planning Board that implement the applicable master or sector plan.

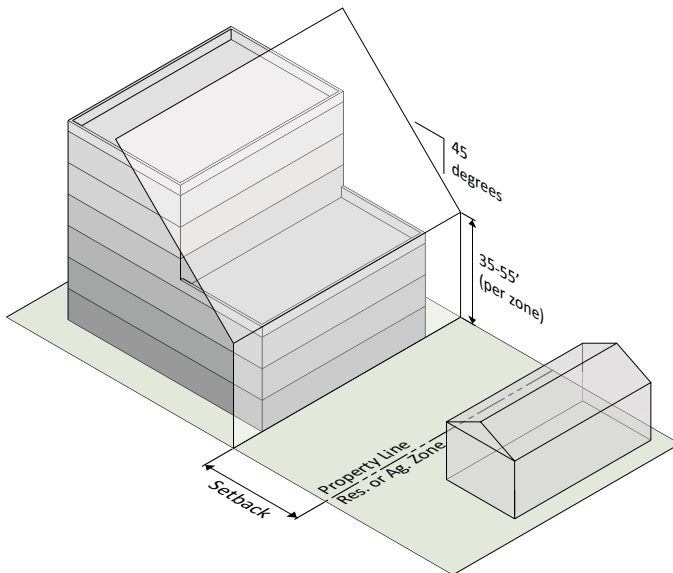
## B. Building Types

Dimensional standards for allowed building types are provided under [Sec. 4.5.4.](#) to [Sec. 4.5.10.](#) Building types are allowed by zone under [Sec. 4.1.3.](#)

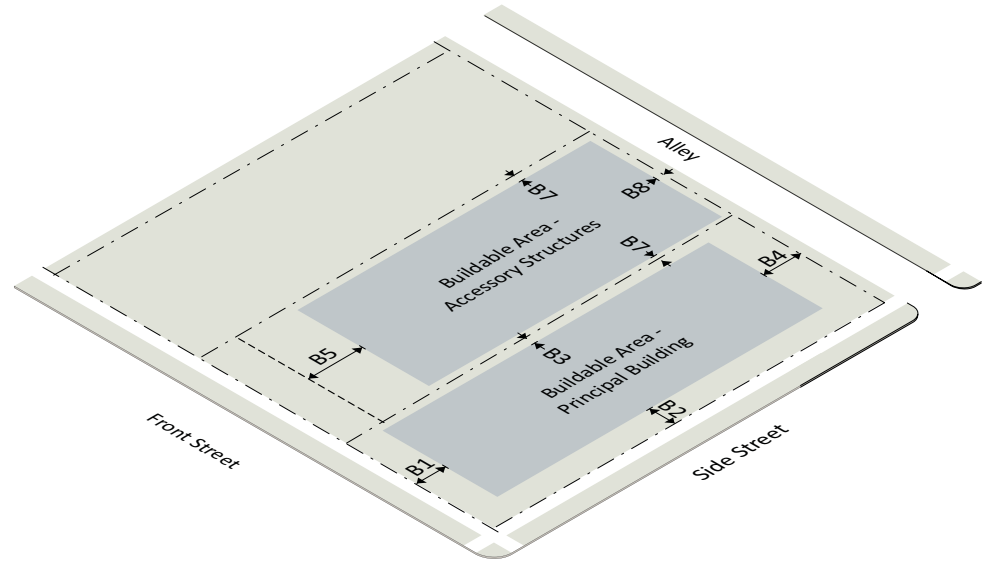
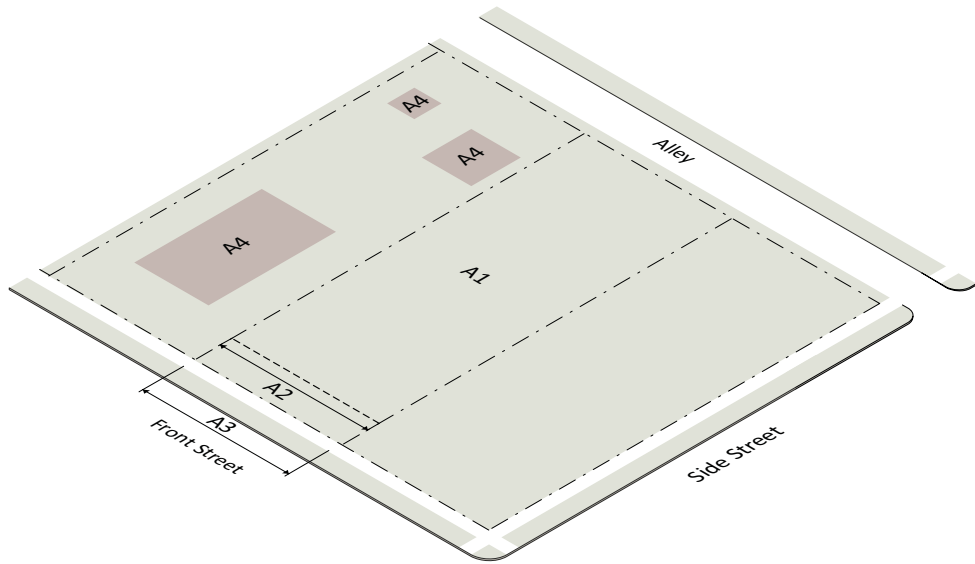
## C. Neighborhood Compatibility

Where a property abuts an AC, RR, RC, RNC, RE, RLD, or RMD zoned property that is not improved with a commercial, industrial, or utility use, any building must

1. Have a minimum setback of 25 feet or the setback required by the adjacent property; and
2. Must not project beyond a 45 degree angular plan projecting over the subject property measured from a height of 55 feet in the EOF Zones, 45 feet in the ELS Zones, or 35 feet in the EG Zones at the setback line determined above, with the exception of those features exempt from height and setback restrictions under [Sec. 4.1.14.](#)



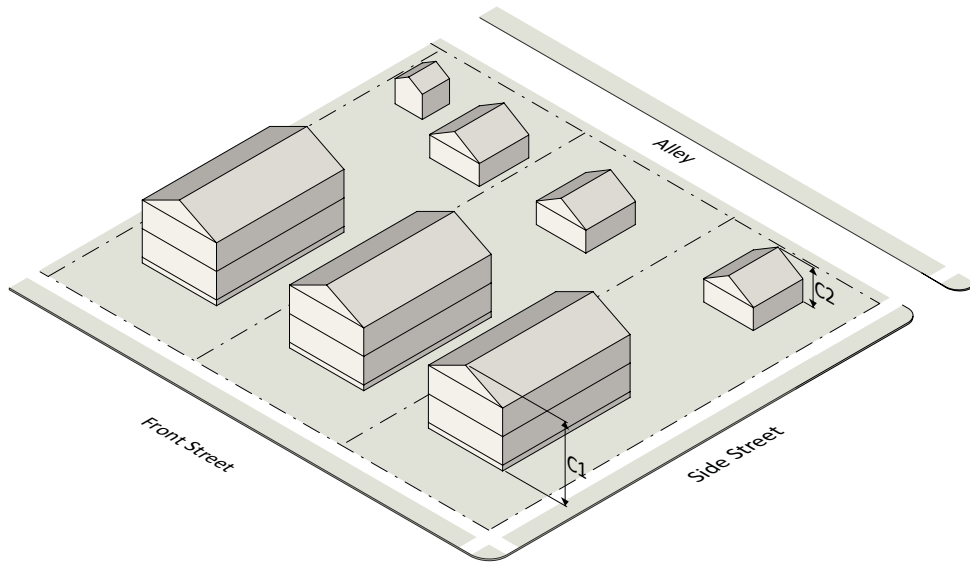
### Sec. 4.5.4. Detached House



A. Lot	ELS
<b>Dimensions (min)</b>	
A1 Lot area	1,000 sf
A2 Lot width at front setback line	25'
A3 Lot width at front property line	25'
<b>Coverage (max)</b>	
A4 Roofed buildings & structures	90%
<b>A5 Residential Density</b>	
Gross floor area of all residential uses in an application must not exceed 30% of maximum allowed FAR mapped on subject site	

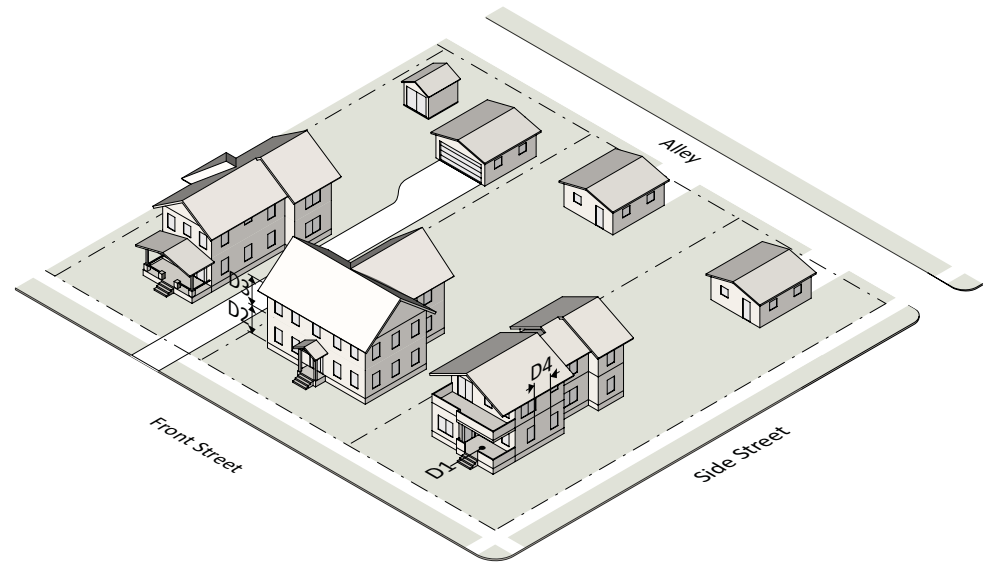
B. Setbacks	ELS
<b>Principal Building Setbacks (min)</b>	
B1 Front street setback	5'
B2 Side street setback	5'
B3 Side interior setback	5'
B4 Rear setback	15'
B4 Rear setback, alley	4' or 20' min
<b>Accessory Structure Setbacks (min)</b>	
B5 Front street setback, behind front building line	5'
B6 Side street setback	5'
B7 Side interior setback	5'
B8 Rear setback	5'
B8 Rear setback, alley	4' or 20' min





**C. Height**

Building Height (max)	ELS
C1 Principal building	35'
C2 Accessory structure	25'

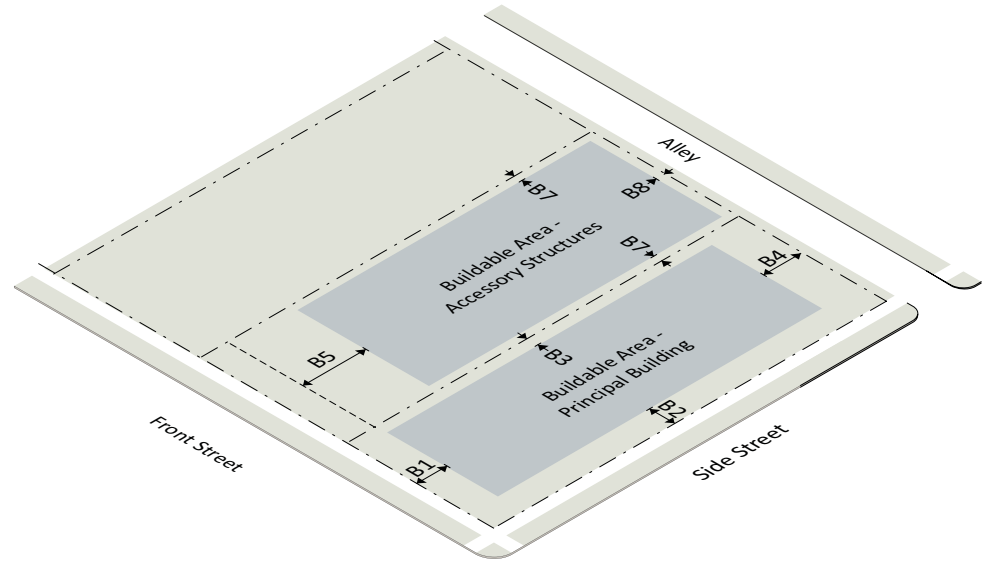
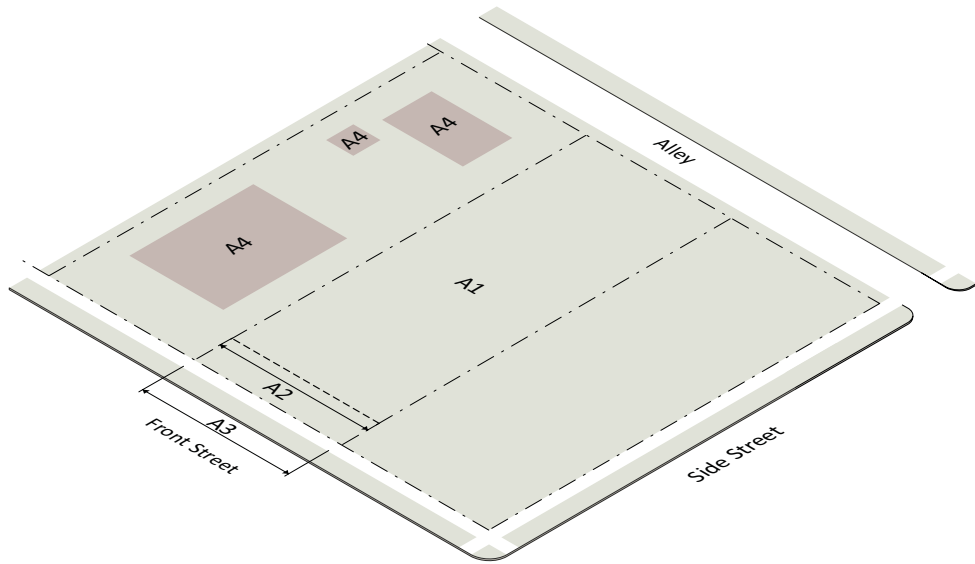


**D. Form**

Building Orientation	ELS
D1 Street or common open space facing entrance	Required
<b>Transparency: Primary or Side Street</b>	
D2 Ground story (min)	20%
D3 Upper story (min)	20%
D4 Blank wall (max)	35'
<b>D5 Allowed Building Elements</b>	
Gallery, awning	no
Porch, stoop	yes
Balcony	yes

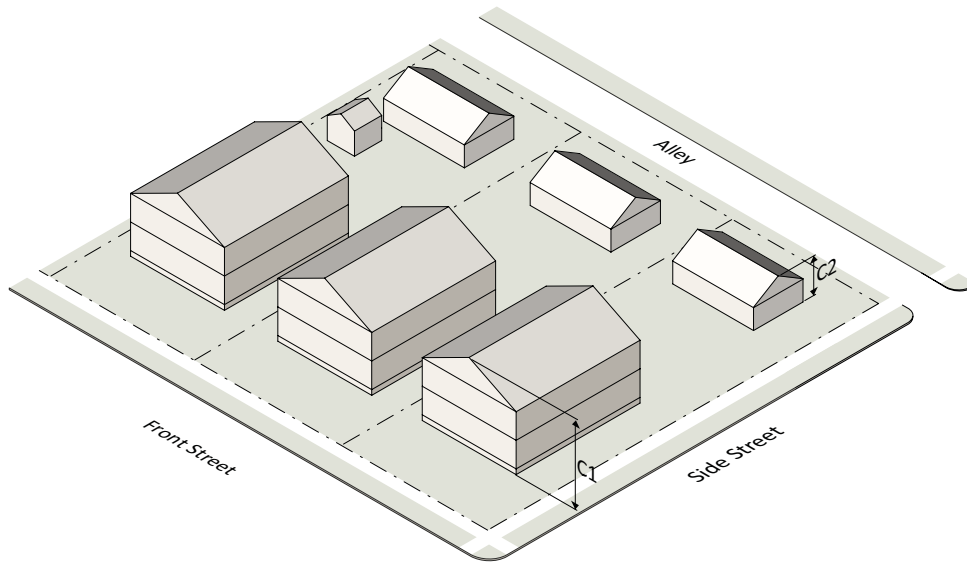
See [Sec. 4.1.4.G](#) for specific building element requirements.

Sec. 4.5.5. Duplex



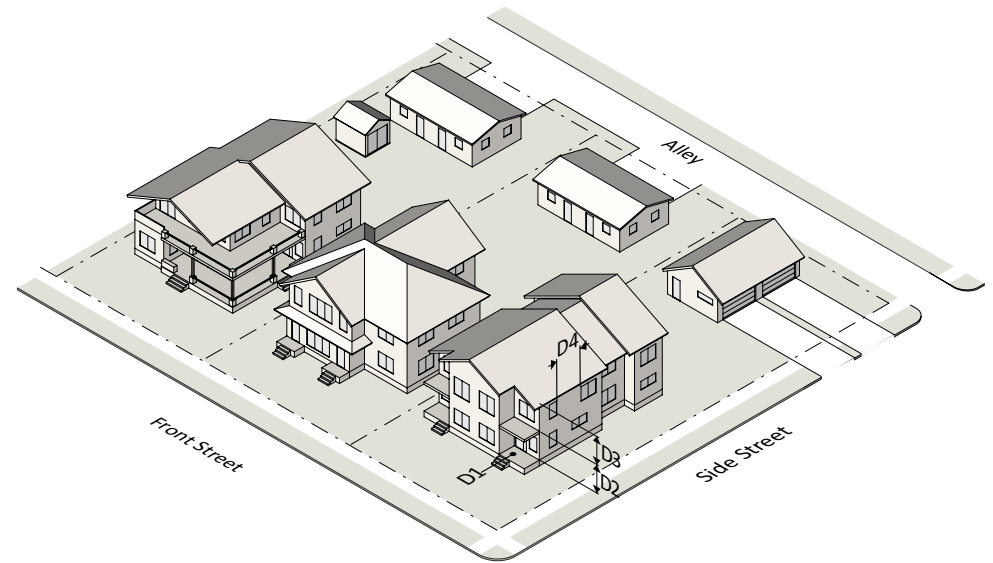
A. Lot	ELS
<b>Dimensions (min)</b>	
A1 Lot area	1,600 sf
A2 Lot width at front setback line	25'
A3 Lot width at front property line	25'
<b>Coverage (max)</b>	
A4 Roofed buildings & structures	90%
<b>A5 Residential Density (max)</b>	
Gross floor area of all residential uses in an application must not exceed 30% of maximum allowed FAR mapped on subject site	

B. Setbacks	ELS
<b>Principal Building Setbacks (min)</b>	
B1 Front street setback	5'
B2 Side street setback	5'
B3 Side interior setback	5'
B4 Rear setback	15'
B4 Rear setback, alley	4' or 20' min
<b>Accessory Structure Setbacks (min)</b>	
B5 Front street setback, behind front building line	5'
B6 Side street setback	5'
B7 Side interior setback	5'
B8 Rear setback	5'
B8 Rear setback, alley	4' or 20' min



**C. Height**

Building Height (max)	ELS
C1 Principal building	35'
C2 Accessory structure	25'

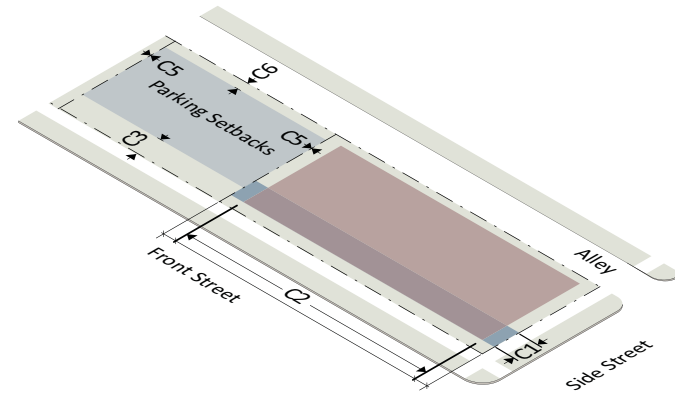
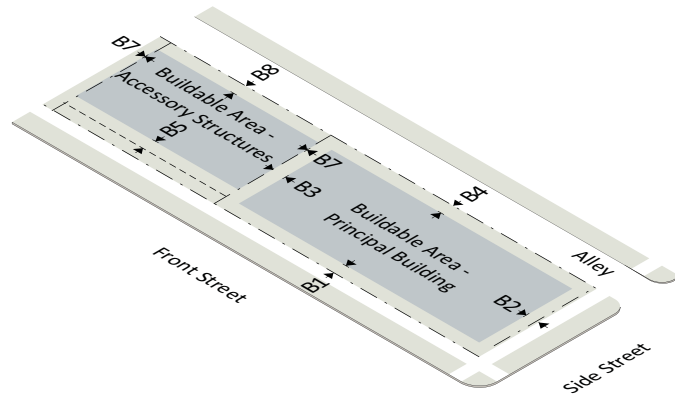


**D. Form**

Building Orientation	ELS
D1 Street or common open space facing entrance	Required
<b>Transparency: Primary or Side Street</b>	
D2 Ground story (min)	20%
D3 Upper story (min)	20%
D4 Blank wall (max)	35'
<b>D5 Allowed Building Elements</b>	
Gallery, awning	no
Porch, stoop	yes
Balcony	yes

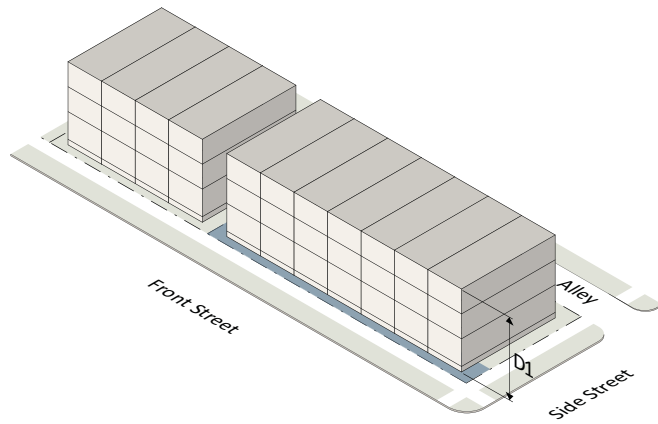
See [Sec. 4.1.4.G](#) for specific building element requirements.

### Sec. 4.5.6. Townhouse

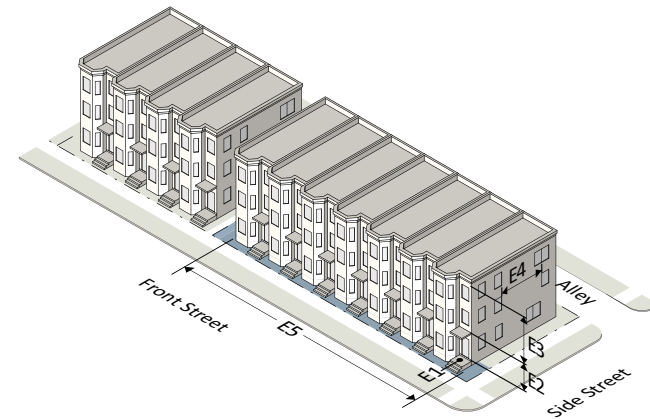


A. Lot	EG, ELS, EOF
<b>Dimensions (min)</b>	
A1 Lot area	900 sf
<b>Coverage (max)</b>	
A2 Roofed buildings & structures	90%
<b>A3 Residential Density</b>	
Gross floor area of all residential uses in an application must not exceed 30% of maximum allowed FAR mapped on subject site	
<b>B. Setbacks</b>	
<b>Principal Building Setbacks (min)</b>	
B1 Front street setback	5'
B2 Side street setback	5'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback	20'
B4 Rear setback, alley	4' or 20' min
<b>Accessory Structure Setbacks (min)</b>	
B5 Front street setback, behind front building line	5'
B6 Side street setback	5'
B7 Side interior setback, abutting Agricultural, Rural or Residential zone	5'
B7 Side interior setback, abutting all other zones	0' or 5'
B8 Rear setback	5'
B8 Rear setback, alley	4' or 20' min

C. Placement	EG, ELS, EOF
<b>Build-to Zone (BTZ)</b>	
C1 Front street build-to (min/max)	5'/15'
C2 Building in BTZ (min % of lot width)	70%
<b>Parking Setbacks (min)</b>	
C3 Front street setback	10'
C4 Side street setback	10'
C5 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C5 Side interior setback, abutting all other zones	0' or 5'
C6 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C6 Rear setback, abutting all other zones	0' or 5'
C6 Rear setback, alley	4' or 20' min



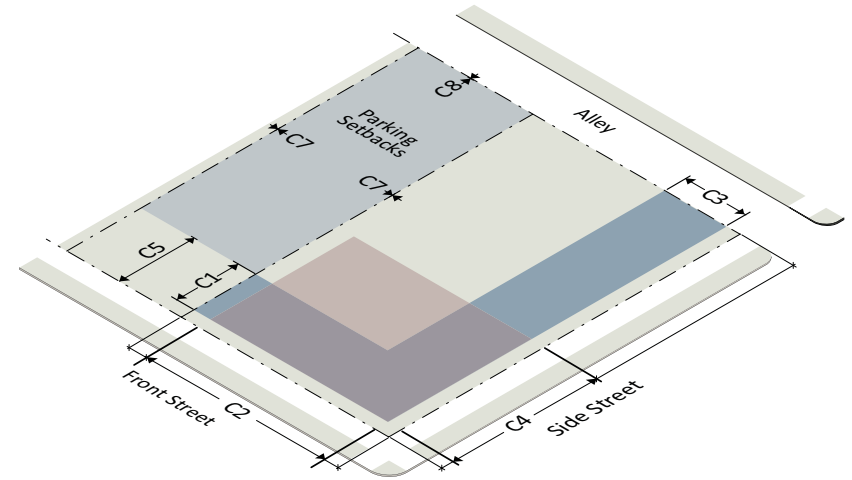
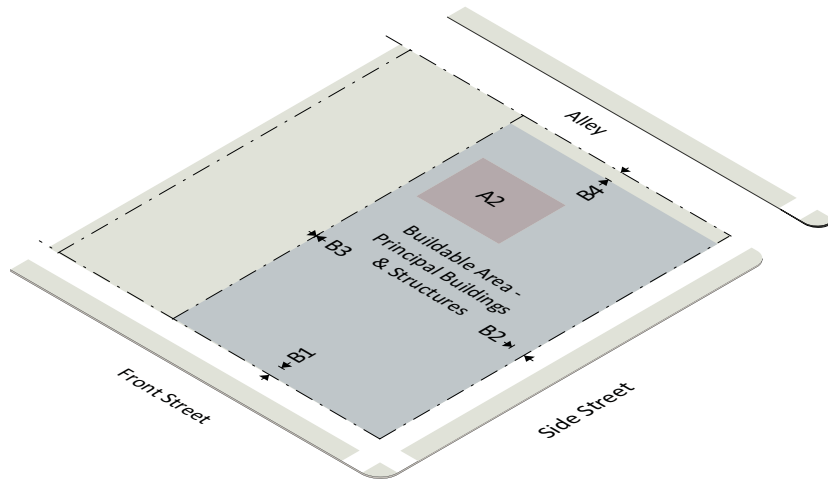
D. Height	EG, ELS, EOF
<b>Building Height (max)</b>	
D1 Principal building	40' unless zone height limit is less
D2 Accessory structure	25'



E. Form	EG, ELS, EOF
<b>Building Orientation</b>	
E1 Street-facing entrance	Required
<b>Transparency: Primary or Side Street</b>	
E2 Ground story (min)	20%
E3 Upper story (min)	20%
E4 Blank wall (max)	35'
<b>Massing</b>	
E5 Number of units permitted in any one row	8
<b>E6 Allowed Building Elements</b>	
Gallery, awning	no
Porch, stoop	yes
Balcony	yes

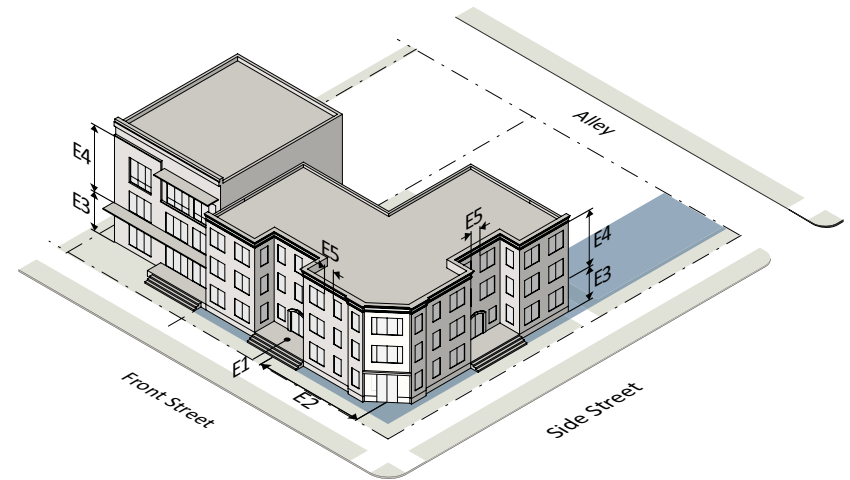
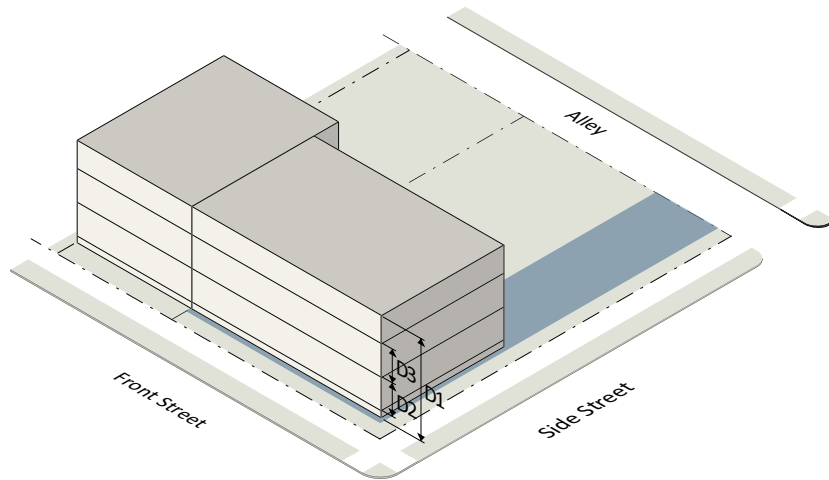
See [Sec. 4.1.4.G](#) for specific building element requirements.

Sec. 4.5.7. Apartment/Condo



A. Lot	EG, ELS, EOF
<b>A1 Residential Density</b>	
Gross floor area of all residential uses in an application must not exceed 30% of maximum allowed FAR mapped on subject site	
<b>A2 Public Use Space</b>	
Lot area ≤ 10,000 sf (% of site required to be dedicated)	0%
Lot area > 10,000 sf (% of site required to be dedicated)	10%
See Sec. ## for public use space specifications.	
<b>B. Setbacks</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front street setback	0'
B2 Side street setback	0'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B4 Rear setback, abutting all other zones	0' or 5'
B4 Rear setback, alley	4'

C. Placement	EG, ELS, EOF
<b>Build-to Zone (BTZ)</b>	
C1 Front street (min/max)	0'/30'
C2 Building in front street BTZ (min % of lot width)	70%
C3 Side street (min/max)	0'/30'
C4 Building in side street BTZ (min % of lot width)	35%
<b>Parking Setbacks (min)</b>	
C5 Front street setback	30'
C6 Side street setback	10'
C7 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C7 Side interior setback, abutting all other zones	0' or 5'
C8 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C8 Rear setback, abutting all other zones	0' or 5'
C8 Rear setback, alley	0' or 5'

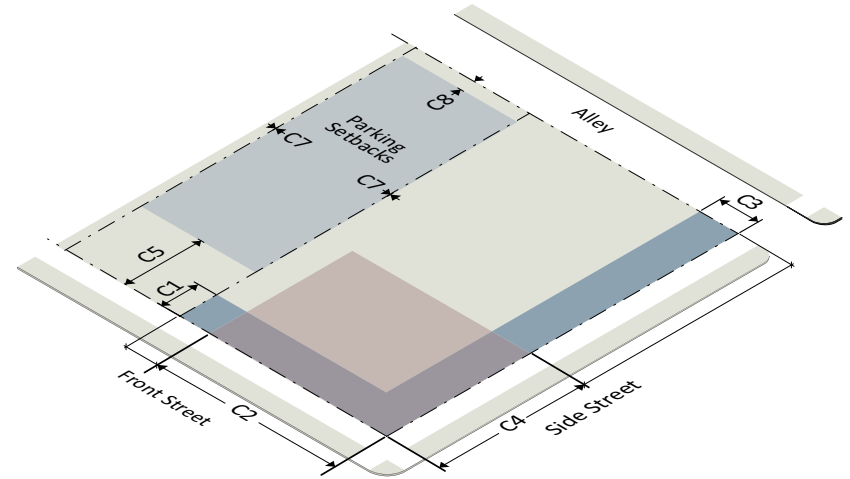
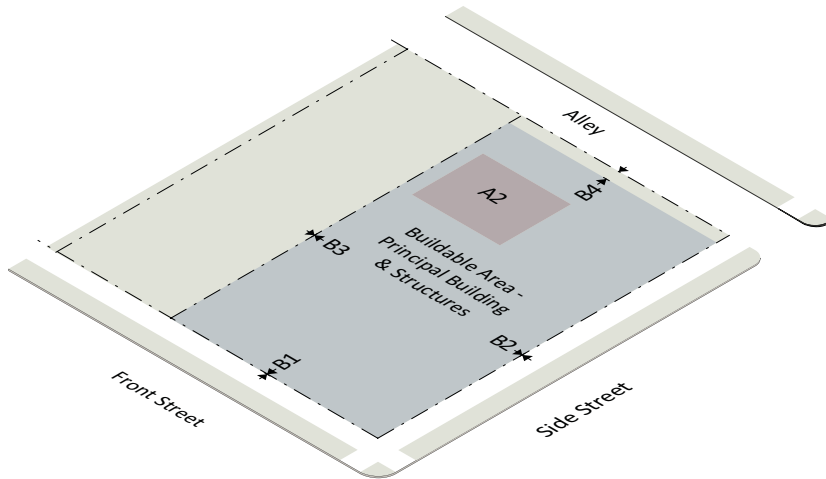


D. Height	EG, ELS, EOF
<b>Building Height (max)</b>	
D1 All buildings & structures	Specific to mapped zone: 25' to 300'
<b>Story Heights (min)</b>	
D2 Ground story, floor to ceiling	10'
D3 Upper story, floor to ceiling	9'

E. Form	EG, ELS, EOF
<b>Building Orientation</b>	
E1 Street-facing entrance	Required
E2 Entrance spacing (max)	100'
<b>Transparency: Primary, Side Street, Public Open Space</b>	
E3 Ground story (min)	20%
E4 Upper story (min)	20%
E5 Blank wall (max)	35'
<b>E6 Allowed Building Elements</b>	
Gallery, awning	yes
Porch, stoop	yes
Balcony	yes

See [Sec. 4.1.4.G](#) for specific building element requirements.

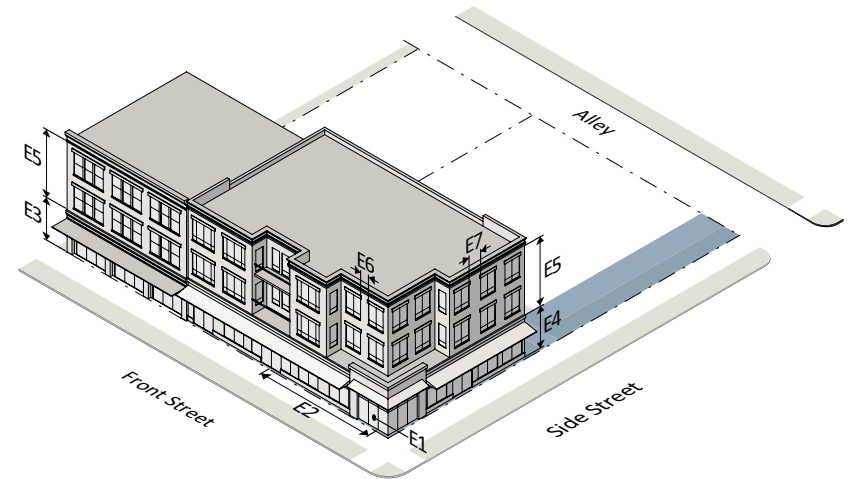
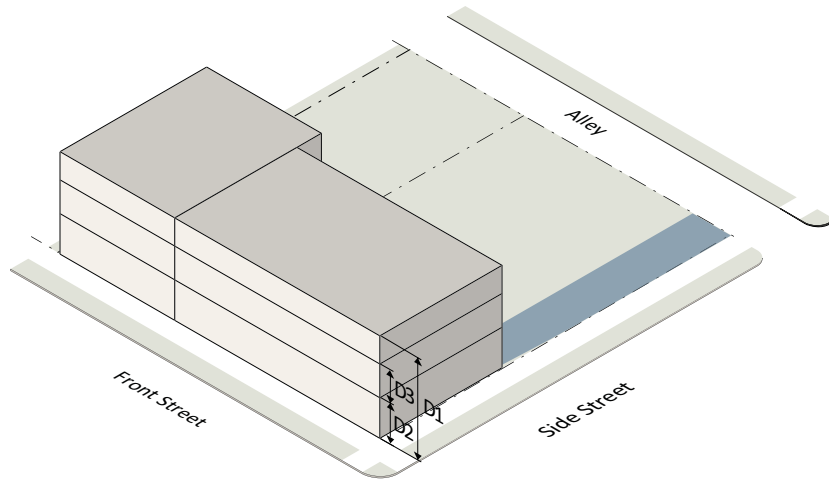
Sec. 4.5.8. Mixed Use Building



A. Lot	EG, ELS, EOF
<b>A1 Residential Density</b>	
Gross floor area of all residential uses in an application must not exceed 30% of maximum allowed FAR mapped on subject site	
<b>A2 Public Use Space</b>	
Lot area ≤ 10,000 sf (% of site required to be dedicated)	0%
Lot area > 10,000 sf (% of site required to be dedicated)	10%
See Sec. ## for public use space specifications.	
<b>B. Setbacks</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front street setback	0'
B2 Side street setback	0'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B4 Rear setback, abutting all other zones	0' or 5'
B4 Rear setback, alley	4'

C. Placement	EG, ELS, EOF
<b>Build-to Zone (BTZ)</b>	
C1 Front street (min/max)	0'/15'
C2 Building in front street BTZ (min % of lot width)	70%
C3 Side street (min/max)	0'/15'
C4 Building in side street BTZ (min % of lot width)	35%
<b>Parking Setbacks (min)</b>	
C5 Front street setback	30'
C6 Side street setback	10'
C7 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C7 Side interior setback, abutting all other zones	0' or 5'
C8 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C8 Rear setback, abutting all other zones	0' or 5'
C8 Rear setback, alley	0' or 5'



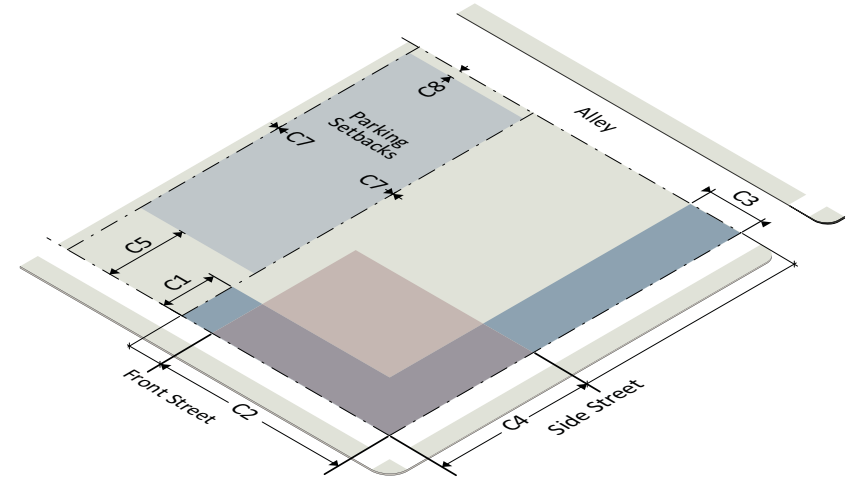
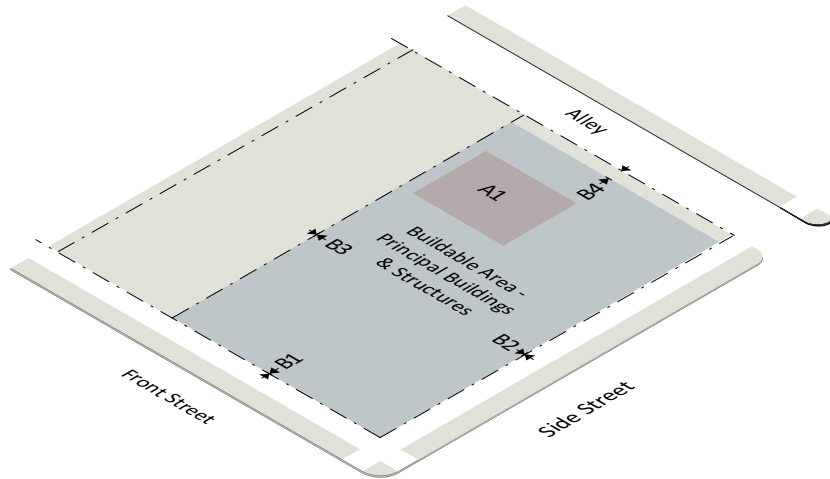


D. Height	EG, ELS, EOF
<b>Building Height (max)</b>	Specific to mapped zone: 25' to 300'
D1 All buildings & structures	
<b>Story Heights (min)</b>	
D2 Ground story, floor to ceiling	13'
D3 Upper story, floor to ceiling	9'

E. Form	EG, ELS, EOF
<b>Building Orientation</b>	
E1 Street-facing entrance	Required
E2 Entrance spacing (max)	75'
<b>Transparency</b>	
E3 Ground story front street (min)	60%
E4 Ground story side street, public open space (min)	30%
E5 Upper story front, side street, public open space (min)	20%
E6 Blank wall front street (max)	25'
E7 Blank wall side street, public open space (max)	35'
<b>E8 Allowed Building Elements</b>	
Gallery, awning	yes
Porch, stoop	no
Balcony	yes

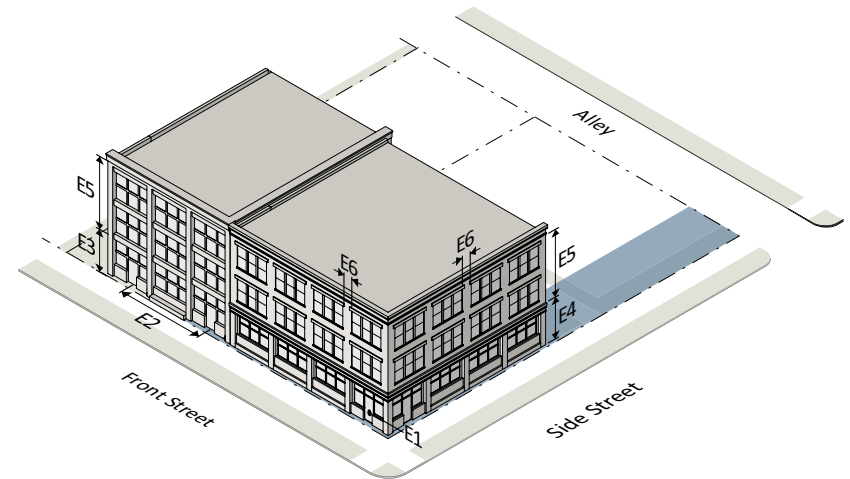
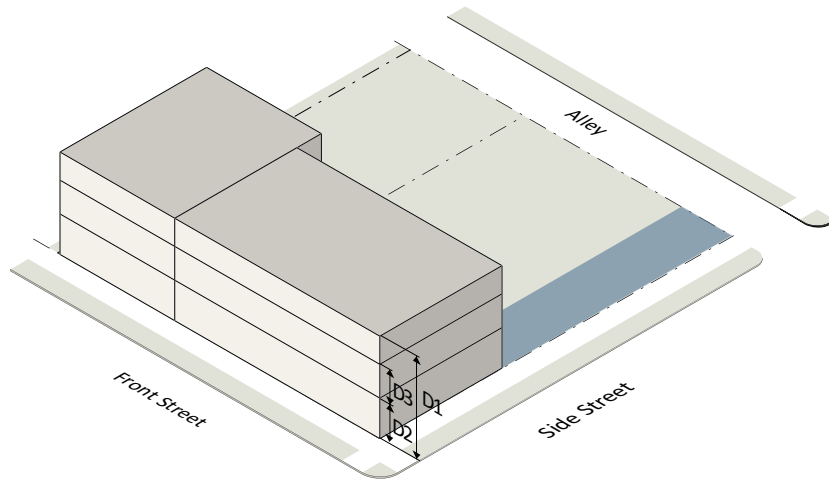
See [Sec. 4.1.4.G](#) for specific building element requirements.

Sec. 4.5.9. General Building



A. Lot	EG, ELS, EOF
<b>A1 Public Use Space</b>	
Lot area ≤ 10,000 sf (% of site required to be dedicated)	0%
Lot area > 10,000 sf (% of site required to be dedicated)	10%
See Sec. ## for public use space specifications.	
<b>B. Setbacks</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front street setback	0'
B2 Side street setback	0'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B4 Rear setback, abutting all other zones	0' or 5'
B4 Rear setback, alley	4'

C. Placement	EG, ELS, EOF
<b>Build-to Zone (BTZ)</b>	
C1 Front street (min/max)	0'/20'
C2 Building in front street BTZ (min % of lot width)	70%
C3 Side street (min/max)	0'/20'
C4 Building in side street BTZ (min % of lot width)	35%
<b>Parking Setbacks (min)</b>	
C5 Front street setback	30'
C6 Side street setback	10'
C7 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C7 Side interior setback, abutting all other zones	0' or 5'
C8 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C8 Rear setback, abutting all other zones	0' or 5'
C8 Rear setback, alley	0' or 5'

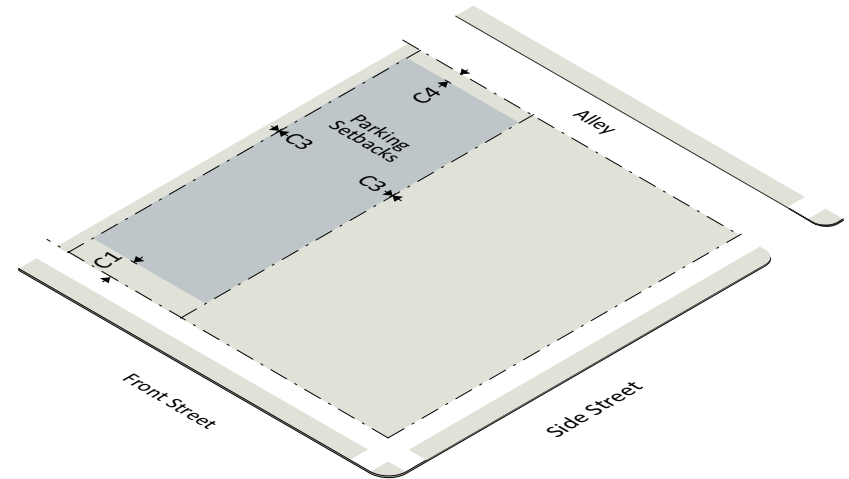
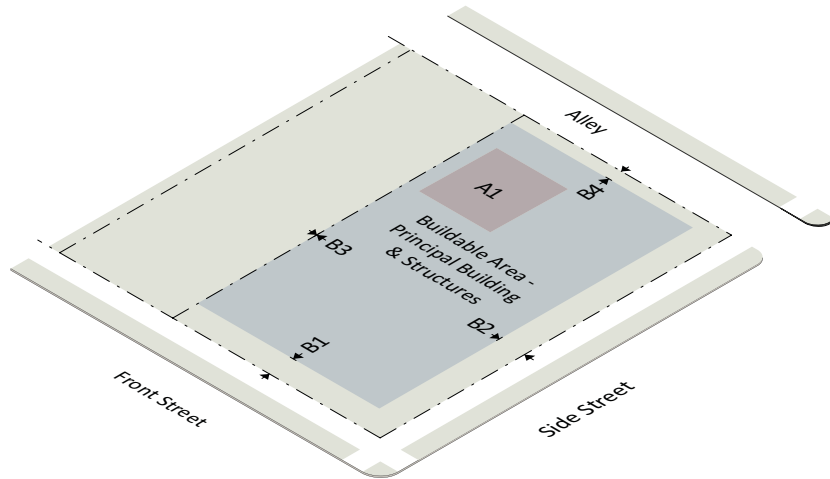


D. Height	EG, ELS, EOF
<b>Building Height (max)</b>	
D1 All buildings & structures	Specific to mapped zone: 25' to 300'
<b>Story Heights (min)</b>	
D2 Ground story, floor to ceiling	11'
D3 Upper story, floor to ceiling	9'

E. Form	EG, ELS, EOF
<b>Building Orientation</b>	
E1 Street-facing entrance	Required
E2 Entrance spacing (max)	100'
<b>Transparency</b>	
E3 Ground story front street (min)	40%
E4 Ground story side street, public open space (min)	25%
E5 Upper story front, side street, public open space (min)	20%
E6 Blank wall front, side street, public open space (max)	35'
<b>E7 Allowed Building Elements</b>	
Gallery, awning	yes
Porch, stoop	no
Balcony	yes

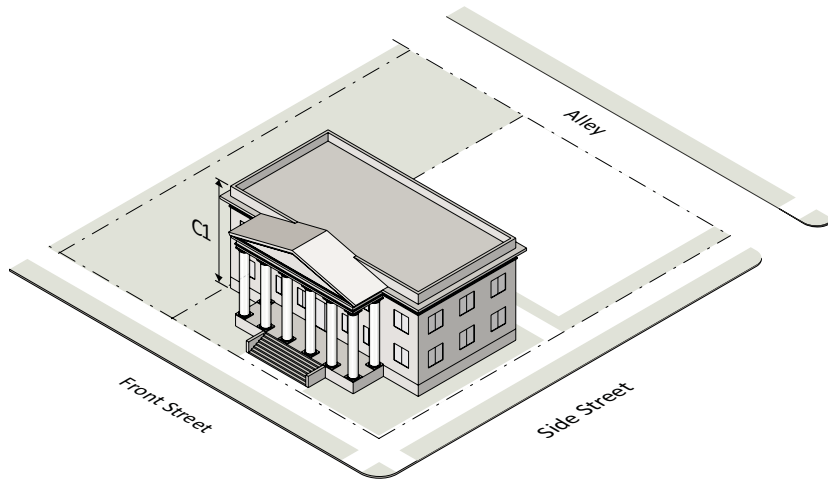
See [Sec. 4.1.4.G](#) for specific building element requirements.

### Sec. 4.5.10. Community Building



A. Lot	EG, ELS, EOF
<b>A1 Public Use Space</b>	
Lot area ≤ 10,000 sf (% of site required to be dedicated)	0%
Lot area > 10,000 sf (% of site required to be dedicated)	10%
See Sec. ## for public use space specifications.	
<b>B. Setbacks</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front street setback	10'
B2 Side street setback	10'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B3 Side interior setback, abutting all other zones	0' or 5'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.5.3C
B4 Rear setback, abutting all other zones	0' or 5'
B4 Rear setback, alley	4'

C. Placement	EG, ELS, EOF
<b>Parking Setbacks (min)</b>	
C1 Front street setback	10'
C2 Side street setback	10'
C3 Side interior setback, abutting Agricultural, Rural or Residential zone	10'
C3 Side interior setback, abutting all other zones	0' or 5'
C4 Rear setback, abutting Agricultural, Rural or Residential zone	10'
C4 Rear setback, abutting all other zones	0' or 5'
C4 Rear setback, alley	0' or 5'



**D. Height**

**EG, ELS, EOF**

**Building Height (max)**

D1 All buildings & structures

Specific to  
mapped zone:  
25' to 300'

**E. Form**

**E1 Allowed Building Elements**

Gallery, awning

yes

Porch, stoop

yes

Balcony

yes

See [Sec. 4.1.4.G](#) for specific building element requirements.

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## Div. 4.6. Industrial Zones

### Sec. 4.6.1. Methods of Development

The IH Zone allows development only under the standard method. The IL Zone allows development under the standard method and may allow development under the optional method, subject to approval of a sketch plan.

#### A. Standard Method

1. Standard method development is allowed under the development standards established in [Sec. 4.6.3](#).
2. A layout plan under [Sec. ##](#) or a site plan under [Sec. ##](#) may be required.

#### B. Optional Method

Optional method development is allowed under [Div. 6.5](#).

### Sec. 4.6.2. Development Standards

Development in all Industrial Zones must comply with the following requirements.

#### A. Master Plan and Design Guidelines

1. Development that requires a site plan must be substantially consistent with the applicable master or sector plan.
2. Development that requires a site plan must address any design guidelines approved by the Planning Board that implement the applicable master or sector plan.

#### B. FAR Averaging

Permitted FAR may be averaged over two or more directly abutting or confronting properties in one or more industrial zones, provided that:

1. The properties are subject to the same preliminary or site plan;
2. The resulting properties are created by the same preliminary subdivision plan or satisfy a phasing plan established by an approved site plan;
3. The maximum FAR limits apply to the entire development, not to individual properties;
4. No building exceeds the maximum height set by the zone;
5. Uses are subject to the provisions of the zone classification; and

6. The total allowed maximum density on a resulting property that is adjacent to or confronting a property in an AC, RR, RC, RNC, RE, RLD, RMD, TLD, TMD, or THD zone that is not improved with a commercial, industrial, or utility use does not exceed that allowed by the property's zone.

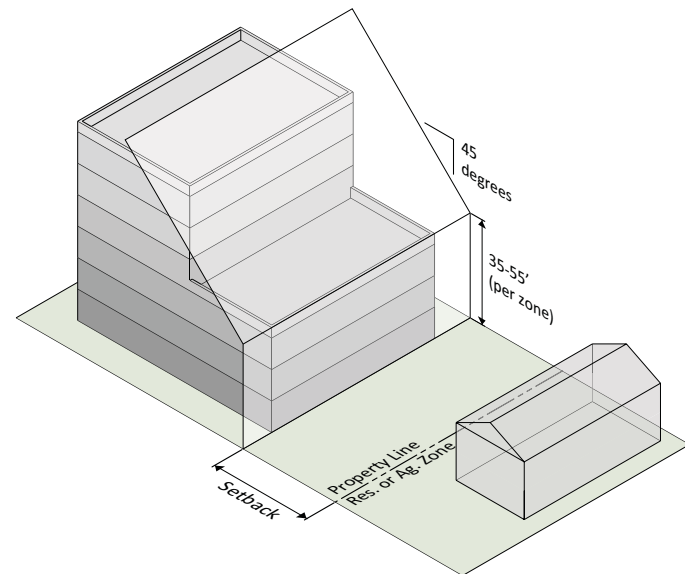
#### C. Building Types

Dimensional standards for allowed building types are provided under [Sec. 4.6.4](#) to [Sec. 4.6.7](#). Building types are allowed by zone under [Sec. 4.1.3](#).

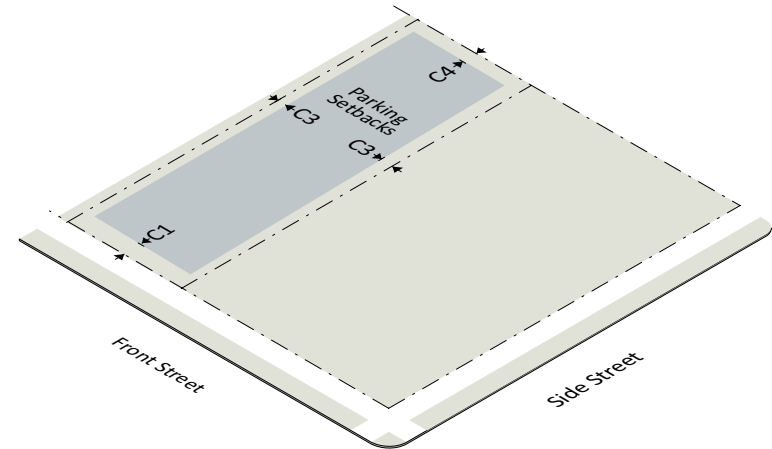
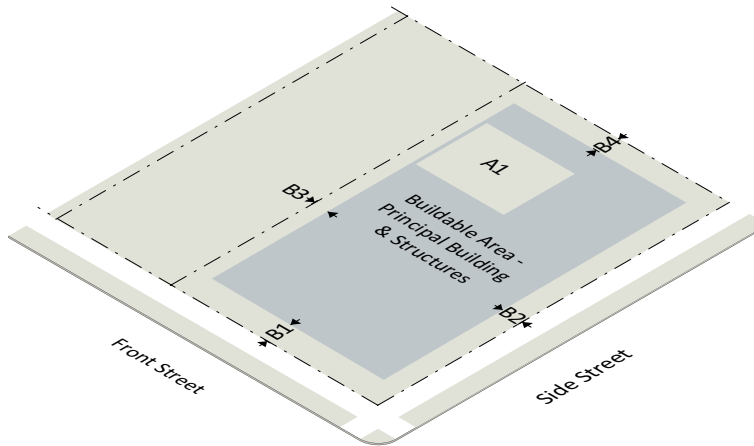
#### D. Neighborhood Compatibility

Where a property abuts an AC, RR, RC, RNC, RE, RLD, or RMD zoned property that is not improved with a commercial, industrial, or utility use, any building must:

1. Have a minimum setback of 25 feet or the setback required by the adjacent property; and
2. Must not project beyond a 45 degree angular plan projecting over the subject property measured from a height of 35 feet at the setback line determined above, with the exception of those features exempt from height and setback restrictions under [Sec. 4.1.14](#).



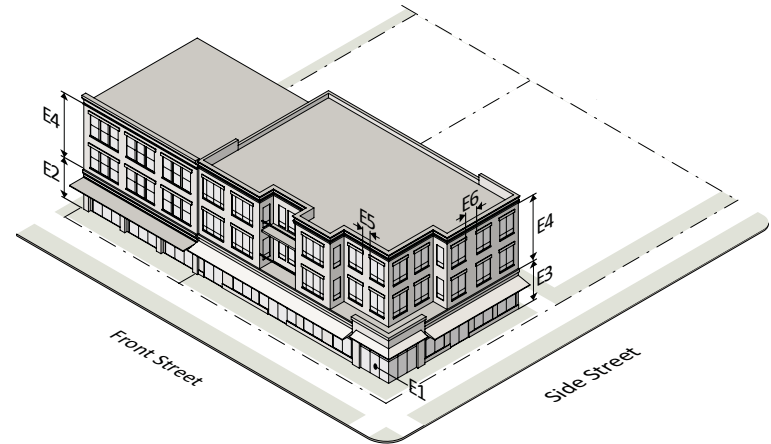
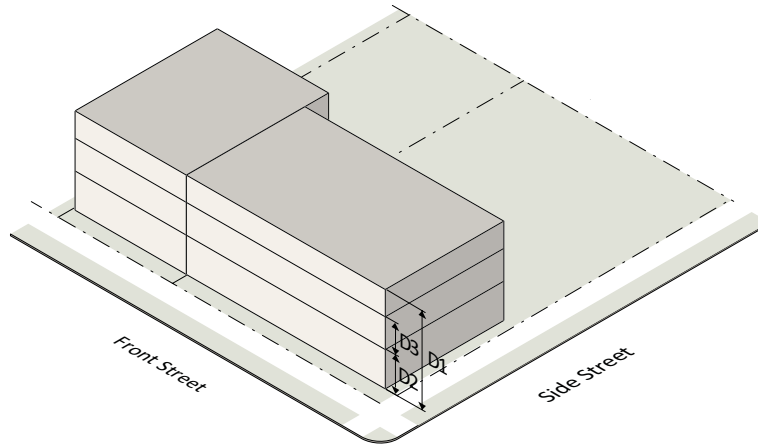
Sec. 4.6.3. Mixed Use Building



A. Lot	IL, IH
<b>A1 Green Area</b>	
Lot area ≤ 10,000 sf (% of site area)	0%
Lot area > 10,000 sf (% of site area)	10%
See Sec. ## for green area specifications.	
<b>B. Setbacks</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front street setback	10'
B2 Side street setback	10'
B3 Side interior setback, abutting Agricultural, Rural, Residential zone	See Sec. 4.6.2D
B3 Side interior setback, abutting all other zones	10'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.6.2D
B4 Rear setback, abutting all other zones	30'
B4 Rear setback, alley	4'

C. Placement	IL, IH
<b>Parking Setbacks (min)</b>	
C1 Front street setback	10'
C2 Side street setback	10'
C3 Side interior setback	10'
C4 Rear setback	10'
C4 Rear setback, alley	0'





**D. Height**

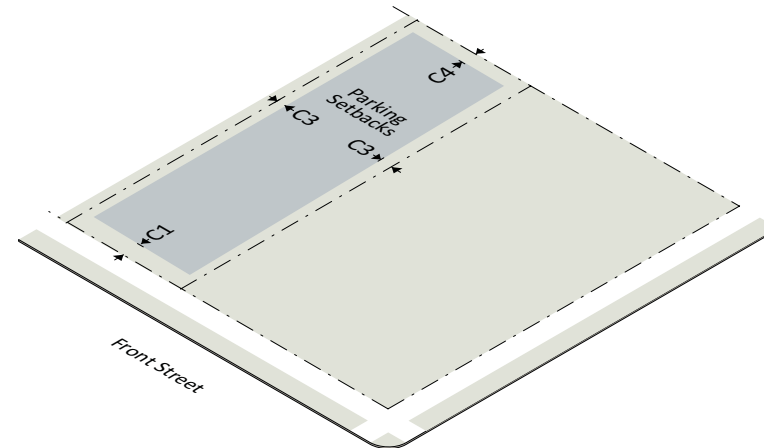
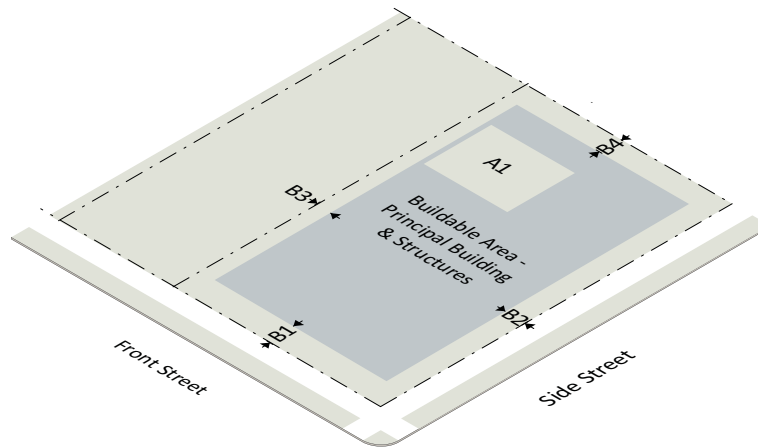
	IL	IH
<b>Building Height (max)</b>		
D1 All buildings & structures	45'	70'
<b>Story Heights (min)</b>		
D2 Ground story, floor to ceiling	13'	13'
D3 Upper story, floor to ceiling	9'	9'

**E. Form**

	IL, IH
<b>Building Orientation</b>	
E1 Street-facing entrance	Required
<b>Transparency</b>	
E2 Ground story front street (min)	60%
E3 Ground story side street (min)	30%
E4 Upper story front, side street (min)	20%
E5 Blank wall front street (max)	25'
E6 Blank wall side street (max)	35'
<b>E7 Allowed Building Elements</b>	
Gallery, awning	yes
Porch, stoop	no
Balcony	yes

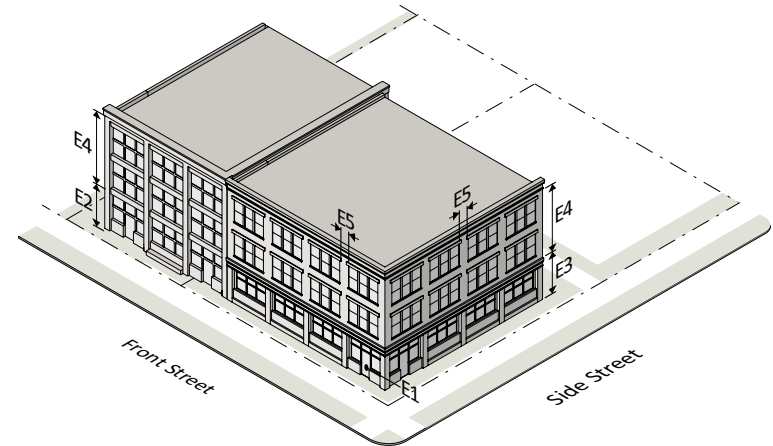
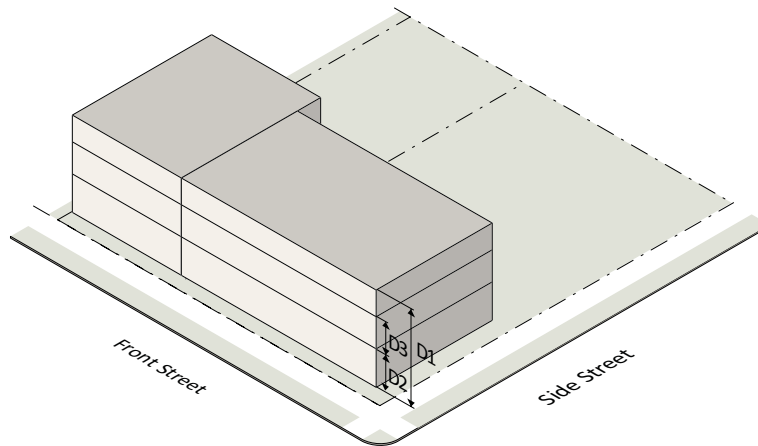
See [Sec. 4.1.4.G](#) for specific building element requirements.

Sec. 4.6.4. General Building



A. Lot	IL, IH
<b>A1 Green Area</b>	
Lot area ≤ 10,000 sf (% of site area)	0%
Lot area > 10,000 sf (% of site area)	10%
See Sec. ## for green area specifications.	
<b>B. Setbacks</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front street setback	10'
B2 Side street setback	10'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.6.2D
B3 Side interior setback, abutting all other zones	10'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.6.2D
B4 Rear setback, abutting all other zones	30'
B4 Rear setback, alley	4'

C. Placement	IL, IH
<b>Parking Setbacks (min)</b>	
C1 Front street setback	10'
C2 Side street setback	10'
C3 Side interior setback	10'
C3 Rear setback	10'
C4 Rear setback, alley	0'



**D. Height**

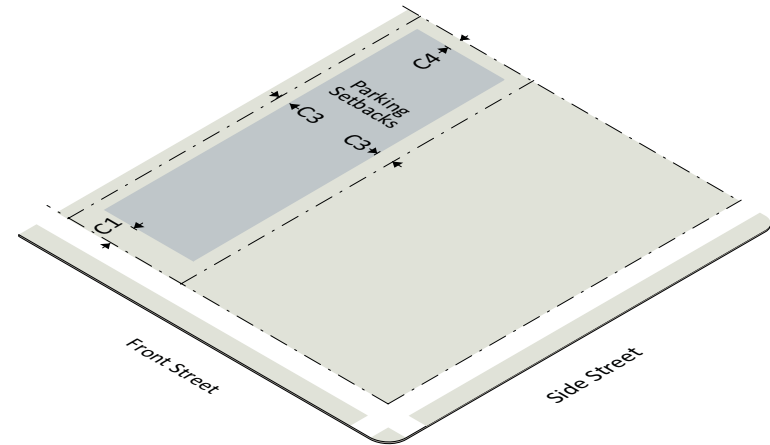
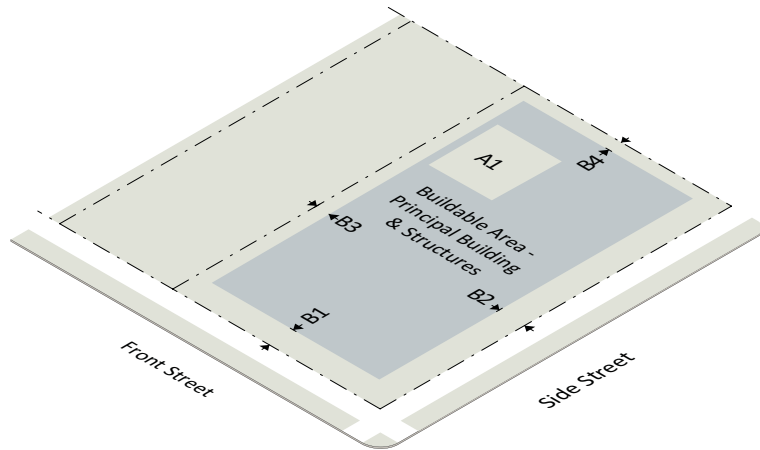
	IL	IH
<b>Building Height (max)</b>		
D1 All buildings & structures	45'	70'
<b>Story Heights (min)</b>		
D2 Ground story, floor to ceiling	11'	11'
D3 Upper story, floor to ceiling	9'	9'

**E. Form**

	IL, IH
<b>Building Orientation</b>	
E1 Street-facing entrance	Required
<b>Transparency</b>	
E2 Ground story front street (min)	30%
E3 Ground story side street, public open space (min)	25%
E4 Upper story front, side street, public open space (min)	20%
E5 Blank wall front, side street, public open space (max)	50'
<b>E6 Allowed Building Elements</b>	
Gallery, awning	yes
Porch, stoop	no
Balcony	yes

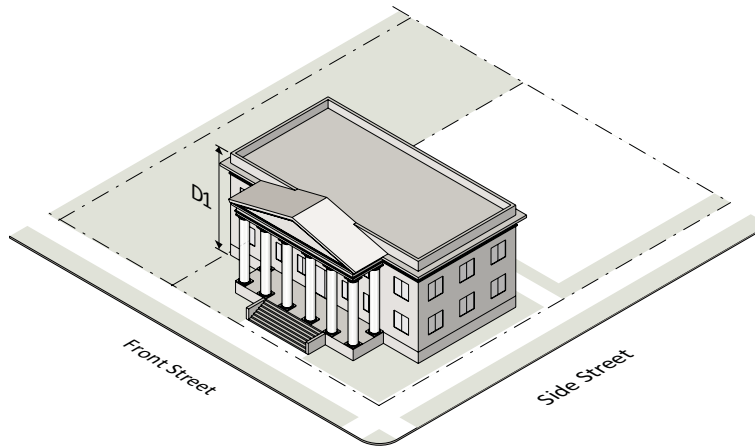
See [Sec. 4.1.4.G](#) for specific building element requirements.

### Sec. 4.6.5. Community Building



A. Lot	IL, IH
<b>A1 Green Area</b>	
Lot area ≤ 10,000 sf (% of site area)	0%
Lot area > 10,000 sf (% of site area)	10%
See Sec. ## for green area specifications.	
<b>B. Setbacks</b>	
<b>Building &amp; Structure Setbacks (min)</b>	
B1 Front street setback	10'
B2 Side street setback	10'
B3 Side interior setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.6.2D
B3 Side interior setback, abutting all other zones	10'
B4 Rear setback, abutting Agricultural, Rural or Residential zone	See Sec. 4.6.2D
B4 Rear setback, abutting all other zones	30'
B4 Rear setback, alley	4'

C. Placement	IL, IH
<b>Parking Setbacks (min)</b>	
C1 Front street setback	10'
C2 Side street setback	10'
C3 Side interior setback	10'
C4 Rear setback	10'
C4 Rear setback, alley	0'



**D. Height**

Building Height (max)	IL	IH
D1 All buildings & structures	45'	70'

**E. Form**

E1 Allowed Building Elements	IL	IH
Gallery, awning	yes	yes
Porch, stoop	yes	yes
Balcony	yes	yes

See [Sec. 4.1.4.G](#) for specific building element requirements.